

SITE DATA

1. SITE ADDRESS: 700 W. NORTH AVENUE  
BALTIMORE, MD 21217  
2. WARD/SECTION/BLOCK: 13/110/3434  
3. LOTS: 013  
4. TOTAL PROPERTY AREA: 63,943 (1.468 AC.)

GENERAL NOTES

1. EXISTING TOPOGRAPHY IS IN BALTIMORE CITY COORDINATE SYSTEM AND IS A COMBINATION OF FIELD RUN SURVEY PERFORMED BY MRA IN JULY 2025 AND BALTIMORE CITY G.I.S. DATA. ELEVATIONS HEREON ARE APPROXIMATE.  
2. ADJACENT PROPERTY INFORMATION REFERENCED FROM A COMBINATION OF BALTIMORE CITY REAL PROPERTY AND MARYLAND STATE DEPARTMENT OF ASSESSMENTS & TAXATION (SDAT).  
3. ALL EXISTING UTILITIES SHOWN HEREON ARE A COMBINATION OF BALTIMORE CITY G.I.S. DATA, BALTIMORE CITY PLATS, AND FIELD SURVEY, AND ARE APPROXIMATE.  
4. EXISTING PROPERTY LINE INFORMATION IS FROM PLAT #4471 (MSA C2887-698).  
5. LOT SUBDIVISION WILL BE COMPLETED BY SUBDIVISION PLAT.  
6. 700 W. NORTH AVENUE IS NOT LOCATED WITHIN AN URBAN RENEWAL PLAN (URP) AREA.  
7. THE CONTRACTOR SHALL NOTIFY THE MARYLAND DEPARTMENT OF TRANSPORTATION MARYLAND TRANSIT ADMINISTRATION TRANSIT ROUTE FACILITIES TEAM AT [BusStopModification@mdot.maryland.gov](mailto:BusStopModification@mdot.maryland.gov) AT LEAST TWO WEEKS PRIOR TO ANY IMPACTS WITHIN A TRAVEL LANE ALONG N. WOLFE STREET.

ENVIRONMENTAL NOTES

1. SOILS: 44UC URBAN LAND, 0-15% SLOPES  
14UB URBAN LAND-JOPPA COMPLEX, 0-8% SLOPES  
2. THE PROJECT IS SUBJECT TO STORMWATER MANAGEMENT REVIEW.  
3. THIS PROJECT IS NOT WITHIN THE 100-YEAR OR 500-YEAR BALTIMORE CITY FLOODPLAIN. PANEL NUMBERS: 24008/70017E  
4. THE SITE IS NOT LOCATED WITHIN THE CHESAPEAKE BAY CRITICAL AREA.  
5. THERE ARE LANDSCAPE MANUAL SITE CONDITIONS PRESENT THAT WOULD REQUIRE LANDSCAPE MANUAL PLANTING. SEE LANDSCAPE PLANS.  
6. THERE ARE NO WETLANDS PRESENT ON THE SUBJECT PROPERTY.  
7. THERE ARE NO EXISTING SEPTIC SYSTEMS ON SITE.  
8. THERE ARE NO EXISTING WELLS ON THE SITE. THE SITE IS TO BE SERVED BY PUBLIC WATER.  
9. SOILS WERE OBTAINED FROM THE NRCS SOIL SURVEY USING THE DATA MART WEB SITE.  
10. THE PROJECT DISTURBS OVER 5000SF SO IT IS SUBJECT TO THE FOREST CONSERVATION PROGRAM. NO FOREST OR SPECIMEN TREES EXIST ON SITE SO ONLY A SIMPLIFIED FOREST STAND DELINEATION PLAN IS REQUIRED.

ZONING INFORMATION

1. EXISTING ZONING: C-2  
2. NEIGHBORHOOD: RESERVOIR HILL  
3. EXISTING USE: VACANT LOT (PREVIOUSLY SECTION 8 HOUSING)  
4. PROPOSED USE: RESIDENTIAL DWELLING; 2-STORY ROWHOMES (CONDITIONAL - USE BY BM2A)  
5. PERMITTED USE: GENERAL COMMERCIAL DISTRICT (AS PER TABLE 10-301, C-2)  
6. PROPOSED DWELLINGS: 52

SETBACKS	REQUIRED	PROPOSED
FRONT	≤5'	0'-10.8"
CORNER SIDE	NONE	NONE
INTERIOR SIDE	NONE OR 10' ≤	NONE
REAR	NONE	5'-10'

HEIGHT OF BUILDING (MAX)	60'	45'±
HEIGHT OF BUILDING (MIN)	20'	45'±
LOT AREA (MIN)	225 SF	800 SF
LOT AREA (MAX)	NONE	1,003 SF
FLOOR AREA RATIO (MAX)	NONE	0.80

\* UNITS 128-146 ARE SET BACK 10.8' AND UNITS 154-172 ARE SET BACK 6' FROM THEIR RESPECTIVE RIGHT-OF-WAYS AND A VARIANCE IS REQUESTED.

UTILITY NOTES

1. A SEWER AVAILABILITY LETTER WILL BE REQUESTED FROM THE DEPARTMENT OF PUBLIC WORKS.  
2. A FIRE FLOW TEST WAS RECEIVED FROM THE DEPARTMENT OF PUBLIC WORKS ON 03-17-2022.  
3. THE PROPOSED DEVELOPMENT WILL CONNECT TO THE EXISTING PUBLIC WATER & SEWER LINES LOCATED IN WATTS STREET.

BICYCLE PARKING TABULATION

USE	BIKE PARKING REQUIRED		BIKE PARKING PROVIDED	
	LONG TERM PARKING	SHORT TERM PARKING	LONG TERM PARKING	SHORT TERM PARKING
TOWNHOME	0 SPACES	0 SPACES	0 SPACES	2 SPACES

PARKING TABULATION

USE	PARKING REQUIRED	PARKING PROVIDED
TOWNHOME	52 SPACES	52 SPACES

PROPERTY INFORMATION

① 2021 BOLTON STREET MADISON PARK NORTH LLC WARD - 13 SECTION - 11 BLOCK - 3434 LOT - 027A DEED REFERENCE: 25330/207 USE - RESIDENTIAL	② 748 WATTS STREET NVR INC WARD - 13 SECTION - 11 BLOCK - 3434 LOT - 064 DEED REFERENCE: 27860/179 USE - RESIDENTIAL	③ 746 WATTS STREET NVR INC WARD - 13 SECTION - 11 BLOCK - 3434 LOT - 063 DEED REFERENCE: 27860/179 USE - RESIDENTIAL	④ 744 WATTS STREET NVR INC WARD - 13 SECTION - 11 BLOCK - 3434 LOT - 062 DEED REFERENCE: 27860/179 USE - RESIDENTIAL	⑤ 742 WATTS STREET NVR INC WARD - 13 SECTION - 11 BLOCK - 3434 LOT - 061 DEED REFERENCE: 27860/179 USE - RESIDENTIAL
⑥ 740 WATTS STREET NVR INC WARD - 13 SECTION - 11 BLOCK - 3434 LOT - 060 DEED REFERENCE: 27860/179 USE - RESIDENTIAL	⑦ 738 WATTS STREET NVR INC WARD - 13 SECTION - 11 BLOCK - 3434 LOT - 059 DEED REFERENCE: 27860/179 USE - RESIDENTIAL	⑧ 736 WATTS STREET MADISON PARK NORTH LLC WARD - 13 SECTION - 11 BLOCK - 3434 LOT - 058 DEED REFERENCE: 25330/207 USE - RESIDENTIAL	⑨ 734 WATTS STREET NVR INC WARD - 13 SECTION - 11 BLOCK - 3434 LOT - 057 DEED REFERENCE: 27860/179 USE - RESIDENTIAL	⑩ 732 WATTS STREET NVR INC WARD - 13 SECTION - 11 BLOCK - 3434 LOT - 056 DEED REFERENCE: 27860/179 USE - RESIDENTIAL
⑪ 730 WATTS STREET MADISON PARK NORTH LLC WARD - 13 SECTION - 11 BLOCK - 3434 LOT - 055A DEED REFERENCE: 25330/207 USE - RESIDENTIAL	⑫ 728 WATTS STREET DILLON WENG & SAM WENG WARD - 13 SECTION - 11 BLOCK - 3434 LOT - 055 DEED REFERENCE: 27787/198 USE - RESIDENTIAL	⑬ 726 WATTS STREET ISAIAH IBRAHEEM WARD - 13 SECTION - 11 BLOCK - 3434 LOT - 054 DEED REFERENCE: 27737/181 USE - RESIDENTIAL	⑭ 724 WATTS STREET ASHLEIGH CHOI & JOHN CROSS WARD - 13 SECTION - 11 BLOCK - 3434 LOT - 053 DEED REFERENCE: 27601/68 USE - RESIDENTIAL	⑮ 722 WATTS STREET ALICE NICHOLANE WARD - 13 SECTION - 11 BLOCK - 3434 LOT - 052 DEED REFERENCE: 27481/195 USE - RESIDENTIAL
⑯ 720 WATTS STREET NICOLE GORDON WARD - 13 SECTION - 11 BLOCK - 3434 LOT - 051 DEED REFERENCE: 27665/292 USE - RESIDENTIAL	⑰ 718 WATTS STREET NICOLE SPENCER WARD - 13 SECTION - 11 BLOCK - 3434 LOT - 050 DEED REFERENCE: 27141/228 USE - RESIDENTIAL	⑱ 716 WATTS STREET NVR INC WARD - 13 SECTION - 11 BLOCK - 3434 LOT - 049 DEED REFERENCE: 27124/1 USE - RESIDENTIAL	⑲ 714 WATTS STREET JAZZMIN PEOPLES WARD - 13 SECTION - 11 BLOCK - 3434 LOT - 048 DEED REFERENCE: 27422/424 USE - RESIDENTIAL	⑳ 712 WATTS STREET CLAUDIA DUCK WARD - 13 SECTION - 11 BLOCK - 3434 LOT - 047 DEED REFERENCE: 27546/441 USE - RESIDENTIAL
㉑ 710 WATTS STREET RAYMOND FENWICK III WARD - 13 SECTION - 11 BLOCK - 3434 LOT - 046 DEED REFERENCE: 27607/143 USE - RESIDENTIAL	㉒ 1822 PARK AVENUE MADISON PARK NORTH LLC WARD - 13 SECTION - 11 BLOCK - 3434 LOT - 079B DEED REFERENCE: 25330/207 USE - RESIDENTIAL	㉓ 1758 PARK AVENUE BLANK SLATE DEVELOPMENT LLC WARD - 14 SECTION - 02 BLOCK - 0334 LOT - 063 DEED REFERENCE: 21903/41 USE - RESIDENTIAL		

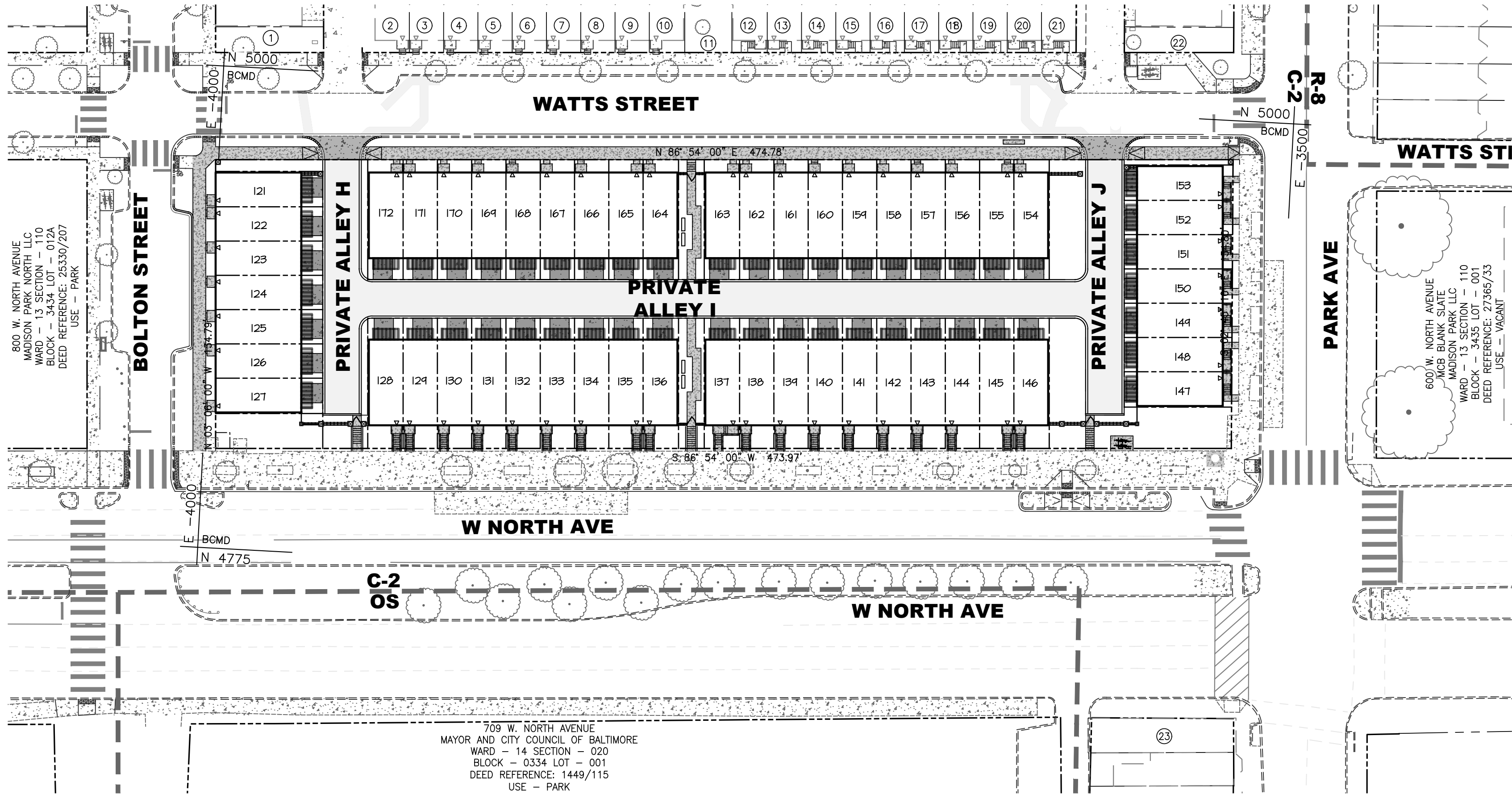
GENERAL NOTE

THE CORRECTNESS OR COMPLETENESS OF EXISTING INFORMATION SHOWN ON THE DRAWINGS IS NOT WARRANTED OR GUARANTEED. THE CONTRACTOR SHALL VERIFY THE LOCATION OF UTILITIES AND UNDERGROUND FACILITIES, BY TEST PITS OR OTHER METHODS APPROVED BY THE OWNER'S REPRESENTATIVE, AS REQUIRED TO VERIFY EXACT LOCATIONS AND DEPTHS WITHIN THE LIMIT OF DISTURBANCE. ALL DISCREPANCIES BETWEEN INFORMATION SHOWN ON THE DRAWINGS AND THAT VERIFIED IN THE FIELD SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK.

PARCEL C AT RESERVOIR SQUARE

COUNCIL DISTRICT 7

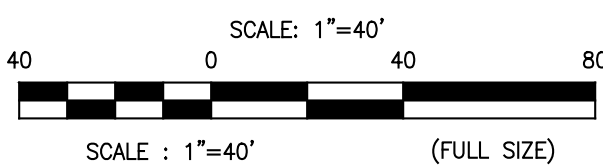
PRELIMINARY DEVELOPMENT PLAN



TRASH RECYCLING / COLLECTION

COLLECTION FOR THE COMMUNITY MUST OCCUR WITHIN THE PRIVATE ALLEY SYSTEM. NO RECEPTACLES WILL BE PERMITTED ALONG NORTH AVENUE OR WATTS STREET.

PLAN



SHEET INDEX	
SHEET	SHEET TITLE
01	COVER SHEET
02	EXISTING CONDITIONS
03	SITE PLAN
04	UTILITY PLAN
05	MOBILITY PLAN
06	BUILDING ELEVATIONS
07	SIMPLIFIED FOREST STAND DELINEATION PLAN
08	SIMPLIFIED FOREST STAND DELINEATION PLAN - SITE PHOTOS
09	FOREST CONSERVATION PLAN
10	LANDSCAPE PLAN
11	LANDSCAPE NOTES & DETAILS - 1
12	LANDSCAPE NOTES & DETAILS - 2
13	SITE DETAILS - 1
14	SITE DETAILS - 2
15	TURNING MOVEMENT EXHIBIT



Know what's below.  
Call before you dig.

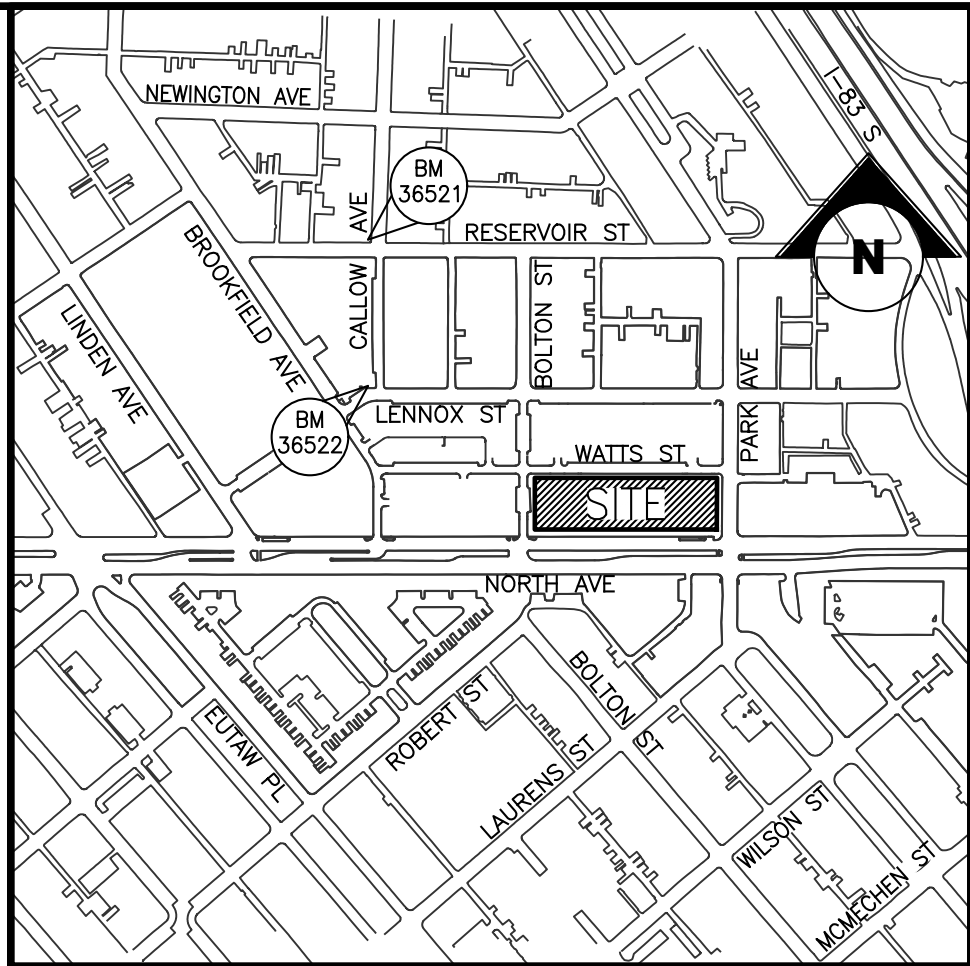
PROTECT YOURSELF, GIVE THREE WORKING DAYS NOTICE  
THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THERE TO APPURTENANT.

OWNER/DEVELOPER

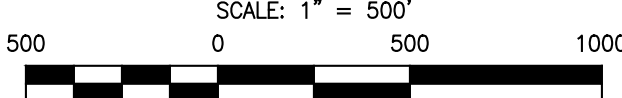
RESERVOIR SQUARE PARCEL C LLC  
1 SOUTH STREET, SUITE 2800  
BALTIMORE, MD 21202  
ATTN: DAVID POLONSKY  
PHONE: 410-547-7189  
EMAIL: DPOLONSKY@ATAPCO.COM

DATUM

DESIGN & DRAWING BASED ON BALTIMORE COUNTY METROPOLITAN DISTRICT SYSTEM (BCMD):  
HORIZONTAL: BCMD  
VERTICAL: BCD



VICINITY MAP



BENCHMARKS

BALTIMORE CITY SURVEY CONTROL STATION RECORD

#36521  
ELEV. 199.11  
DESCRIPTION: NAIL IN THE CONCRETE WALK ON THE CORNER OF CALLOW AVENUE AND RESERVOIR STREET.  
N 5,551.49  
W 4,468.60  
#36522  
ELEV. 179.98  
DESCRIPTION: NAIL IN THE CONCRETE WALK ON THE CORNER OF CALLOW AVENUE AND LENNOX STREET.  
N 5,171.63  
E 4,447.83

LEGEND

- EX. RIGHT-OF-WAY  
EX. ADJACENT PROPERTY LINE  
EX. BUILDING  
EX. CURB & GUTTER  
EX. CONCRETE  
EX. DETECTABLE WARNING SURFACE  
EX. DASHED ROAD MARKINGS  
EX. SOLID ROAD MARKINGS  
EX. ZONING LINE  
EX. TREE  
PR. BUILDING  
PR. LOT LINE  
PR. CURB & GUTTER  
PR. CONCRETE SIDEWALK  
PR. CONCRETE DRIVEWAY  
PR. CONCRETE ENTRANCE  
PR. ASPHALT  
PR. DETECTABLE WARNING SURFACE  
PR. GRASS  
PR. METAL FENCE  
PR. FREE STANDING WALL  
PR. BENCH

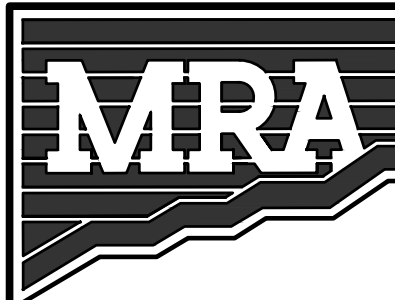
LIMIT OF DISTURBANCE: 75,700 SF / 1.74 AC

BCNR-11857

ePLANS:

SHEET

C-01



MORRIS & RITCHIE ASSOCIATES, INC.

ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS  
1220-B EAST JOPPA ROAD, SUITE 400K  
TOWSON, MD 21286  
410-821-1690  
FAX: 410-821-1748  
MRAGTA.COM

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PARCEL C AT RESERVOIR SQUARE  
PRELIMINARY DEVELOPMENT PLAN

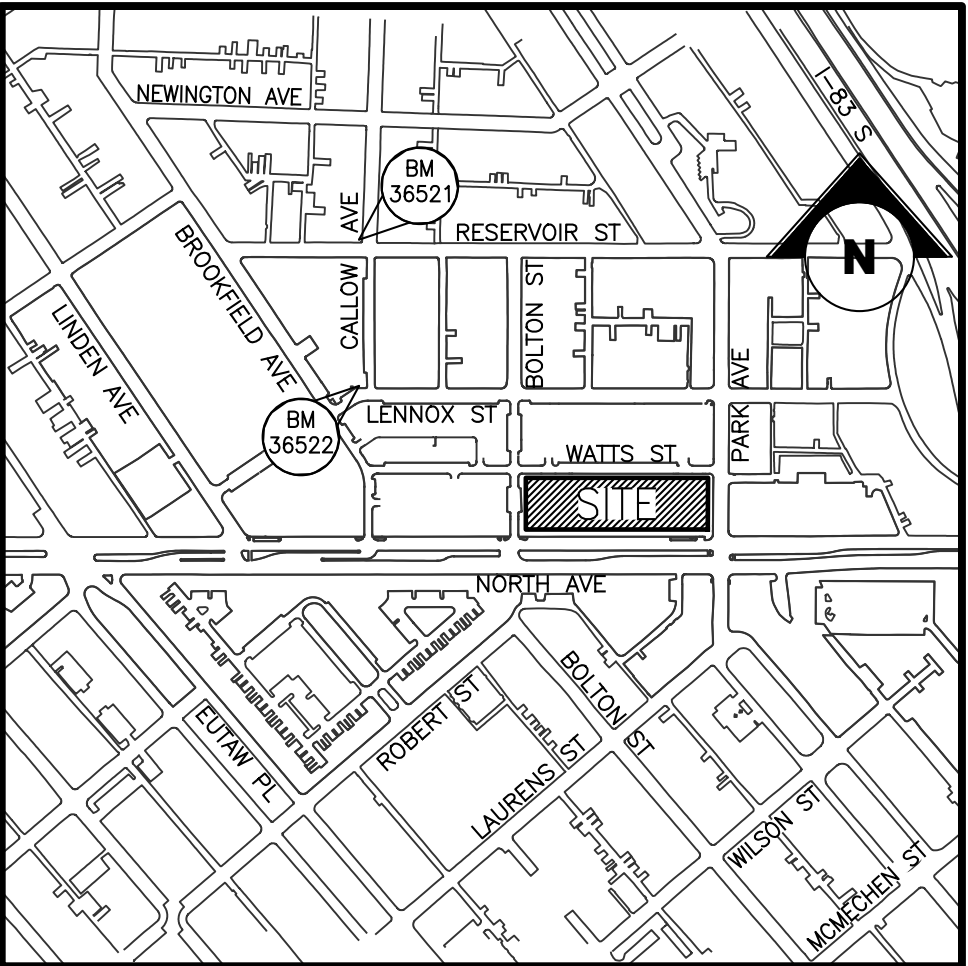
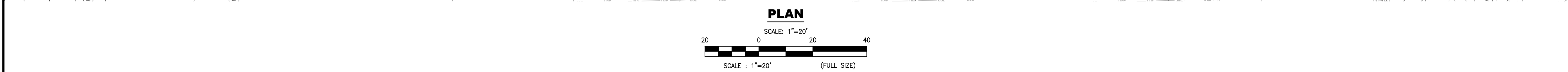
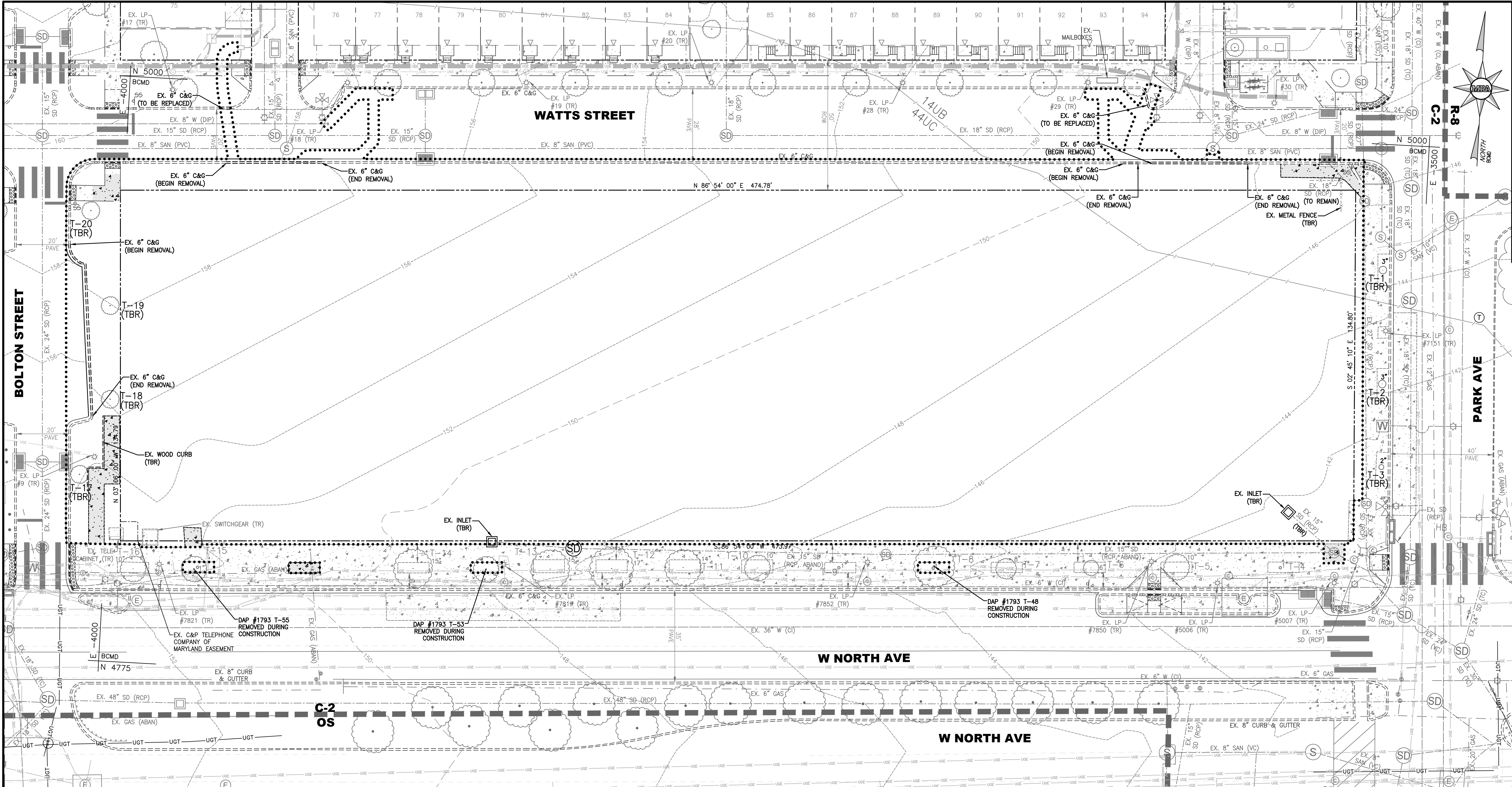
COVER SHEET

BALTIMORE CITY, MD 21217  
WARD: 13 - SECTION: 110  
BLOCK: 3434 - LOT: 13

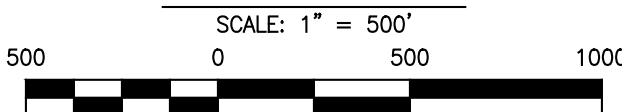
DATE	REVISION	JOB NO.:	20140x06
		SCALE:	AS SHOWN
		DATE:	11/10/2025
		DRAWN BY:	DJK/JHK/ZWB
		DESIGN BY:	DJK/JHK/ZWB
		REVIEW BY:	JTS
		SHEET:	01 OF 15

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 34479. EXPIRATION DATE: 06/21/2028.





#### VICINITY MAP



#### BENCHMARKS

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#### LEGEND

- EX. RIGHT-OF-WAY
- EX. ADJACENT PROPERTY LINE
- EX. BUILDING
- EX. CURB & GUTTER
- EX. CONCRETE
- EX. DETECTABLE WARNING SURFACE
- EX. 2' CONTOUR
- EX. 10' CONTOUR
- EX. DASHED ROAD MARKINGS
- EX. SOLID ROAD MARKINGS
- EX. SOIL LINE
- EX. ZONING LINE
- EX. TREE
- EX. WATER
- EX. STORM DRAIN
- EX. SEWER
- EX. UNDERGROUND ELECTRIC
- EX. GAS
- EX. STOP SIGN

#### GENERAL NOTE

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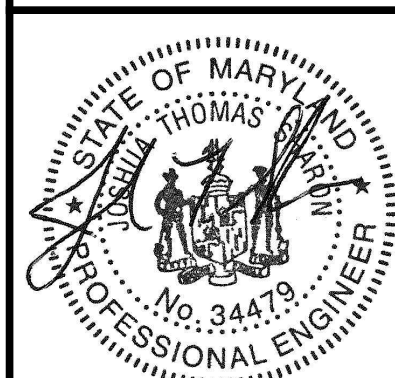
#### OWNER/DEVELOPER

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1 SOUTH STREET, SUITE 2800  
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HORIZONTAL: BCMD  
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BCNR-11857  
ePLANS:



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SHEET  
**C-02**

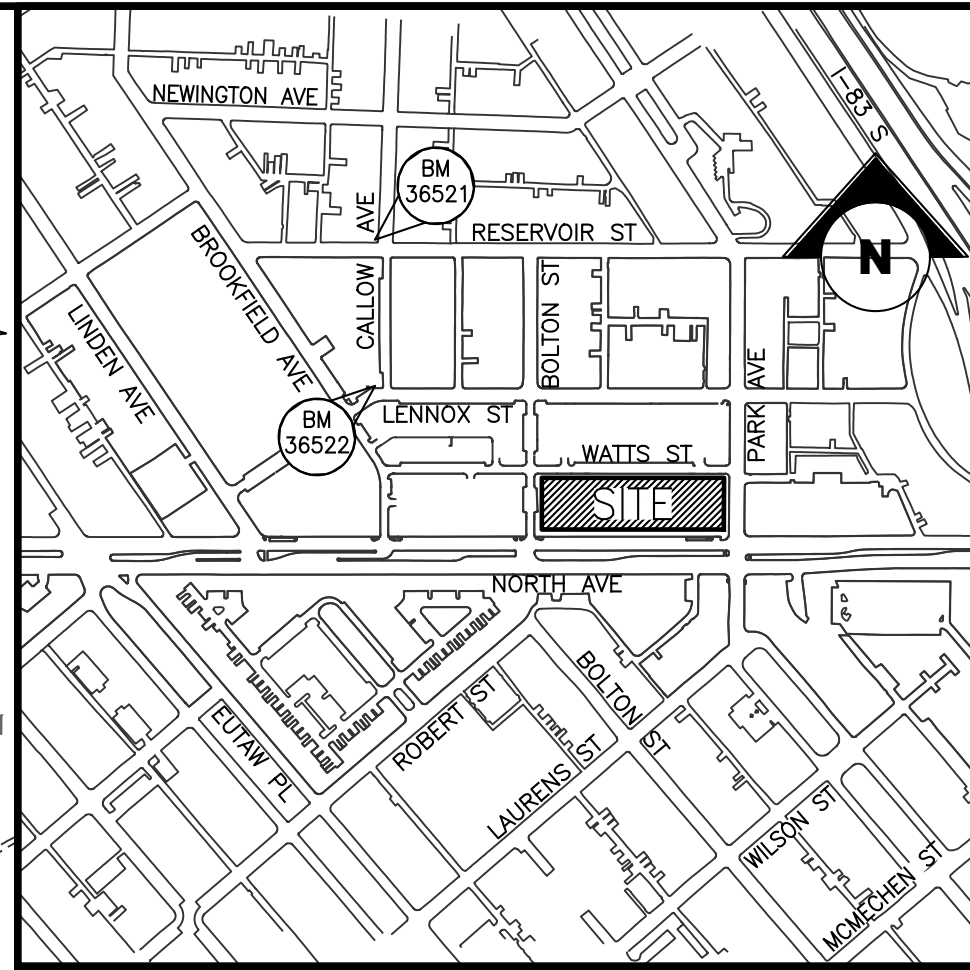
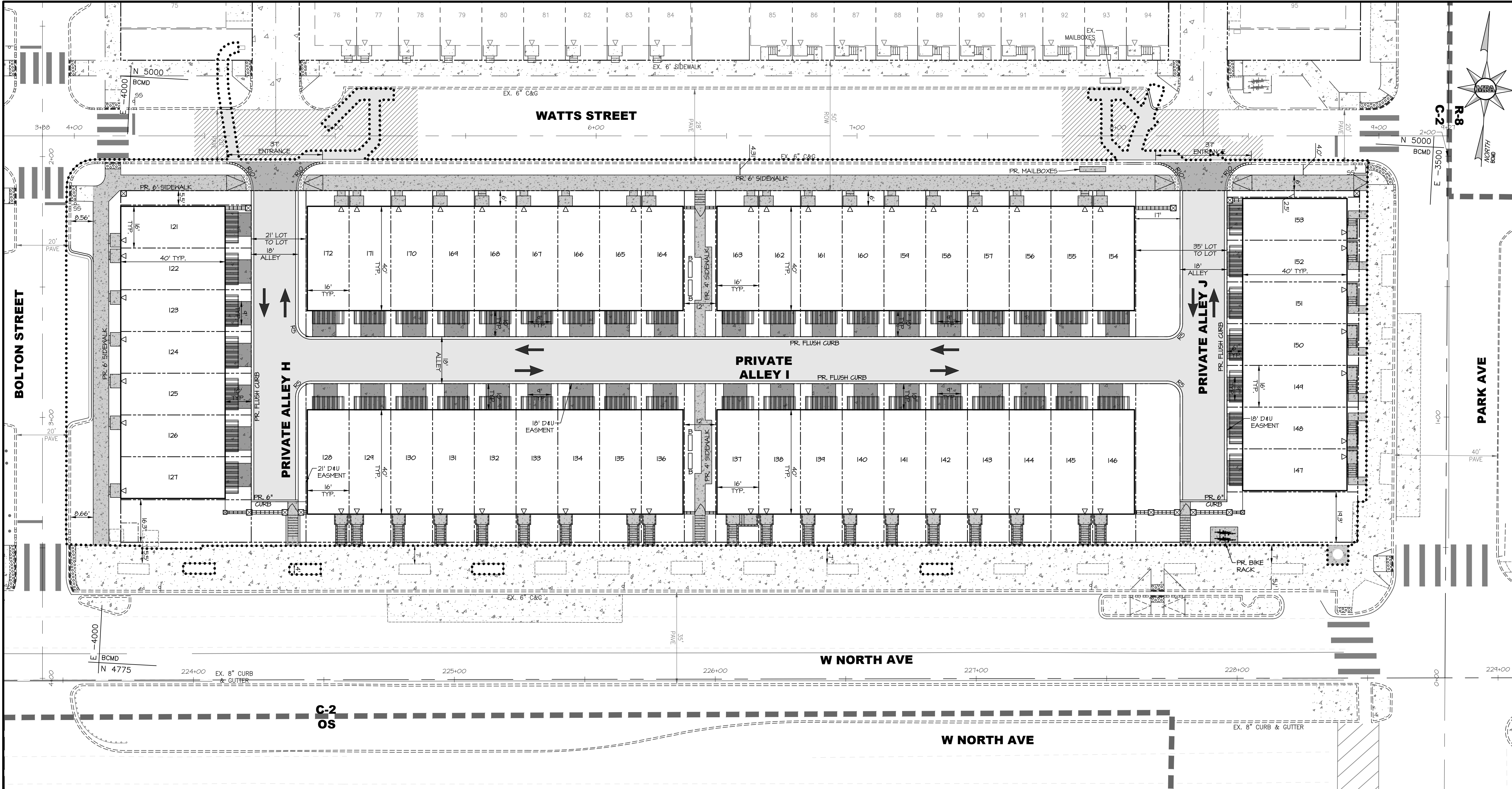
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**PARCEL C AT RESERVOIR SQUARE**  
700 W NORTH AVENUE  
**PRELIMINARY DEVELOPMENT PLAN**

EXISTING CONDITIONS

BALTIMORE CITY, MD 21217  
WARD: 13 - SECTION: 110  
BLOCK: 3434 - LOT: 13

DATE	REVISION	JOB NO.:
		20140x06
		SCALE: AS SHOWN
		DATE: 11/10/2025
		DRAWN BY: DJK/JHK/ZWB
		DESIGN BY: DJK/JHK/ZWB
		REVIEW BY: JTS
		SHEET: 02 OF 15



- VICINITY MAP**  
SCALE: 1" = 500'
- BENCHMARKS**  
BALTIMORE CITY SURVEY CONTROL STATION RECORD
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  - PR. METAL FENCE
  - PR. FREE STANDING WALL
  - PR. BENCH
  - PR. DECK

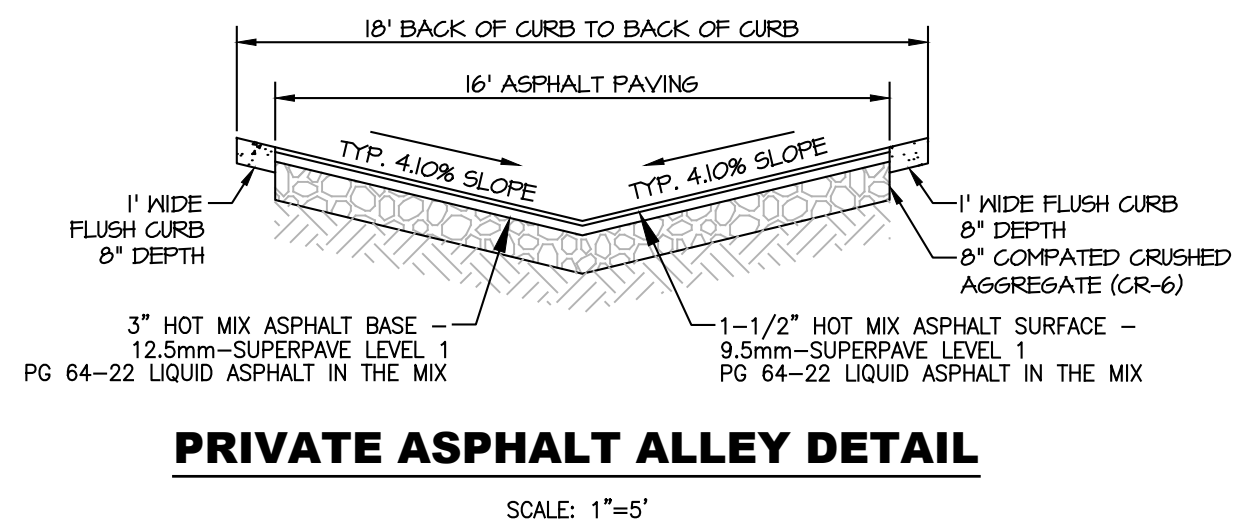


LOT REQUIREMENTS PER ZONING CODE													
LOT NUMBER	POST CONSOLIDATION LOT SIZE (SF.)		BUILDING HEIGHT (FT.)		FRONT YARD (FT.)		INTERIOR YARD (FT.)		CORNER YARD (FT.)		REAR YARD (FT.)		
	PR.	MIN. REQ.	PR.	MIN. REQ.	PR.	MAX. REQ.	PR.	MIN. REQ.	PR.	MIN. REQ.	PR.	MIN. REQ.	
121	825	225	45±	20	60	0	5	0	0	0	N/A	10	0
122-126	800	225	45±	20	60	0	5	0	0	0	N/A	10	0
127	825	225	45±	20	60	0	5	0	0	0	N/A	10	0
128	1,003	225	45±	20	60	**10.8	5	0	0	0	N/A	10	0
129-135	973	225	45±	20	60	**10.8	5	0	0	0	N/A	10	0
136-137	1,003	225	45±	20	60	**10.8	5	0	0	0	N/A	10	0
138-145	973	225	45±	20	60	**10.8	5	0	0	0	N/A	10	0
146	1,003	225	45±	20	60	**10.8	5	0	0	0	N/A	10	0
147	827	225	45±	20	60	4.1-4.2	5	0	0	0	N/A	6	0
148	804	225	45±	20	60	4.2-4.3	5	0	0	0	N/A	6	0
149	806	225	45±	20	60	4.3-4.4	5	0	0	0	N/A	6	0
150	807	225	45±	20	60	4.4-4.5	5	0	0	0	N/A	6	0
151	809	225	45±	20	60	4.5-4.6	5	0	0	0	N/A	6	0
152	810	225	45±	20	60	4.6-4.7	5	0	0	0	N/A	6	0
153	837	225	45±	20	60	4.7-4.8	5	0	0	0	N/A	6	0
154	924	225	45±	20	60	**6	5	0	0	0	N/A	10	0
155-171	896	225	45±	20	60	**6	5	0	0	0	N/A	10	0
172	924	225	45±	20	60	**6	5	0	0	0	N/A	10	0

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\* NO INTERIOR YARD REQUIRED, BUT IF ONE IS PROVIDED IT MUST BE 10' MINIMUM ACCORDING TO ARTICLE 32 OF THE CITY CODE (ZONING).  
\*\* LOT EXCEEDS MAXIMUM/MINIMUM REQUIREMENT ACCORDING TO ARTICLE 32 OF THE CITY CODE (ZONING) AND WILL REQUIRE A ZONING VARIANCE.



**811**

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**DATUM**

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VERTICAL: BCD

BCNR-11857  
ePLANS:

**MRA**

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**PARCEL C AT RESERVOIR SQUARE**  
700 W NORTH AVENUE  
**PRELIMINARY DEVELOPMENT PLAN**

SITE PLAN

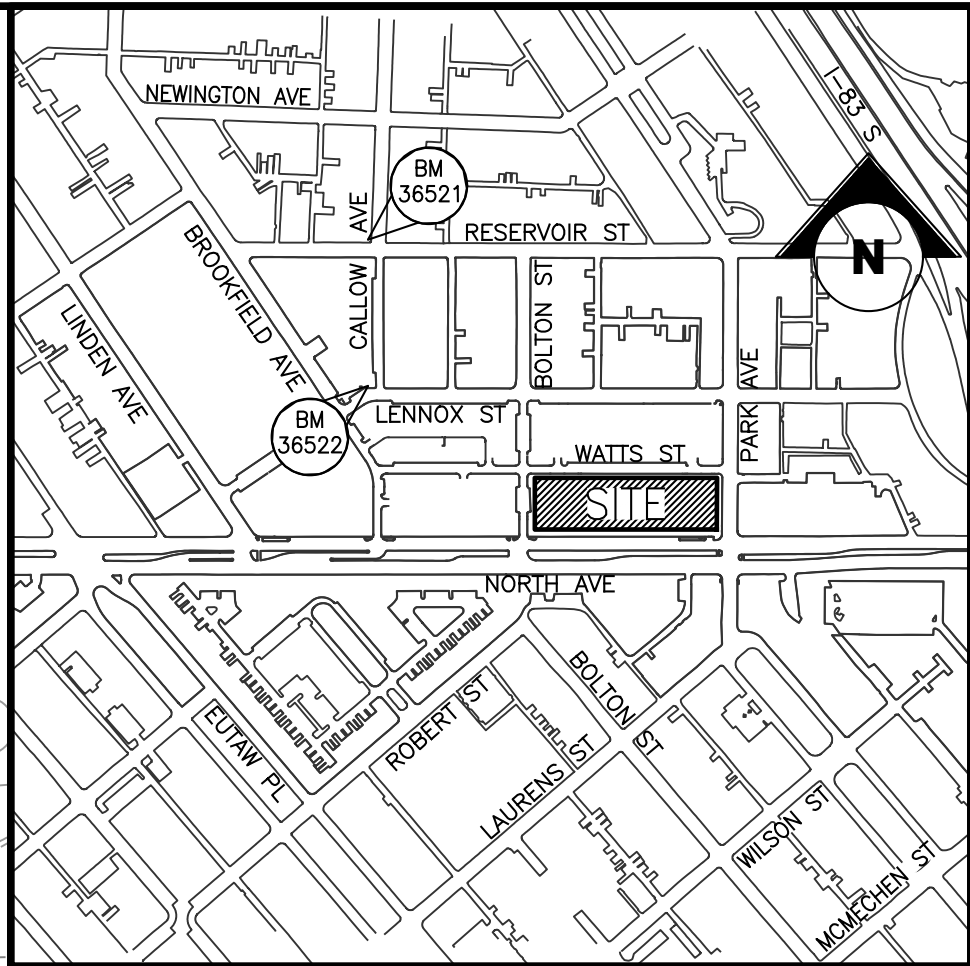
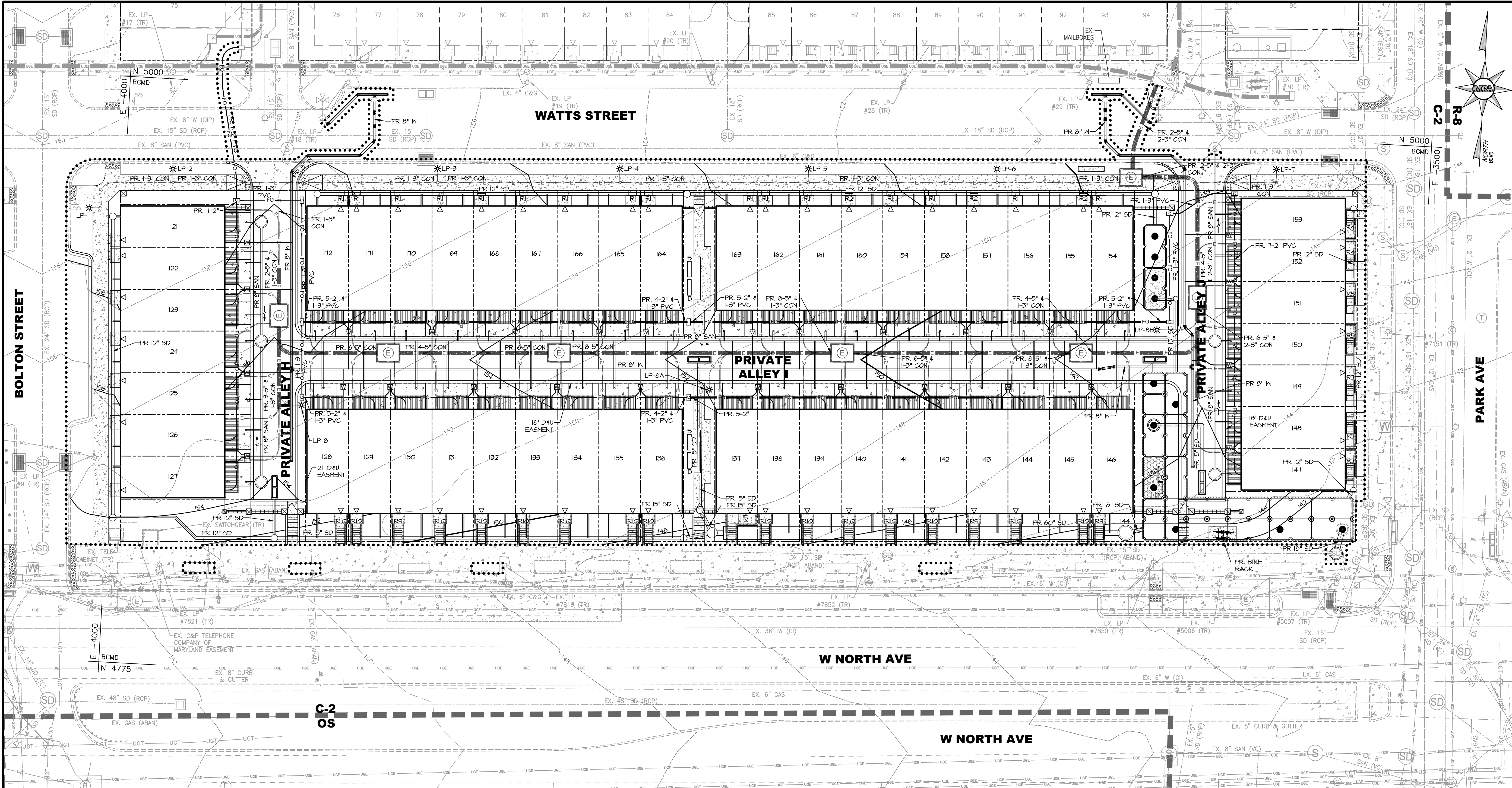
BALTIMORE CITY, MD 21217  
WARD: 13 - SECTION: 110  
BLOCK: 3434 - LOT: 13

DATE	REVISION	JOB NO.:
		20140x06
		SCALE: AS SHOWN
		DATE: 11/10/2025
		DRAWN BY: DJK/JHK/ZWB
		DESIGN BY: DJK/JHK/ZWB
		REVIEW BY: JTS
		SHEET: 03 OF 15

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 34479. EXPIRATION DATE: 06/21/2028.





#### VICINITY MAP

SCALE: 1" = 500'



#### BENCHMARKS

BALTIMORE CITY SURVEY CONTROL STATION RECORD

#36521  
ELEV. 199.11  
DESCRIPTION: NAIL IN THE CONCRETE WALK ON THE CORNER OF CALLOW AVENUE AND RESERVOIR STREET.  
N 5,551.49  
W 4,468.60

#36522  
ELEV. 179.98  
DESCRIPTION: NAIL IN THE CONCRETE WALK ON THE CORNER OF CALLOW AVENUE AND LENNOX STREET.  
N 5,171.63  
E 4,447.83

#### LEGEND

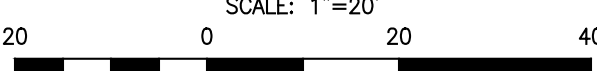
- EX. RIGHT-OF-WAY
- EX. ADJACENT PROPERTY LINE
- EX. BUILDING
- EX. CURB & GUTTER
- EX. CONCRETE
- EX. DETECTABLE WARNING SURFACE
- EX. 2' CONTOUR
- EX. 10' CONTOUR
- EX. DASHED ROAD MARKINGS
- EX. SOLID ROAD MARKINGS
- EX. ZONING LINE
- EX. TREE
- EX. WATER
- EX. STORM DRAIN
- EX. SEWER
- EX. UNDERGROUND ELECTRIC
- EX. GAS
- EX. COMCAST
- PR. BUILDING
- PR. LOT LINE
- PR. CURB & GUTTER
- PR. CONCRETE SIDEWALK
- PR. CONCRETE DRIVEWAY
- PR. CONCRETE ENTRANCE
- PR. EDGE OF ASPHALT PAVING
- PR. DETECTABLE WARNING SURFACE
- PR. GRASS
- PR. METAL FENCE
- PR. BENCH
- PR. FREE STANDING WALL
- PR. WATER
- PR. STORM DRAIN
- PR. SEWER
- PR. UNDERGROUND ELECTRIC
- PR. COMCAST
- PR. 2' CONTOUR
- PR. 10' CONTOUR

#### PUBLIC UTILITY NOTE

THE WATER, SEWER, STORM DRAIN, AND CONDUITS WITHIN THE PRIVATE ALLEYS ARE PUBLIC AND ACCESS WILL BE PROVIDED WITH UTILITY AND ACCESS EASEMENTS FOLLOWING THE BACK OF CURB ALONG ALLEYS.

#### PLAN

SCALE: 1"=20'



SCALE : 1"=20' (FULL SIZE)

#### GENERAL NOTE

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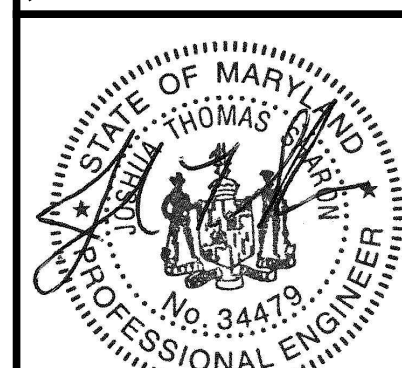
#### OWNER/DEVELOPER

RESERVOIR SQUARE PARCEL C LLC  
1 SOUTH STREET, SUITE 2800  
BALTIMORE, MD 21202  
ATTN: DAVID POLONSKY  
PHONE: 410-547-7189  
EMAIL: DPOLONSKY@ATAPCO.COM

#### DATUM

DESIGN & DRAWING BASED ON  
BALTIMORE COUNTY METROPOLITAN  
DISTRICT SYSTEM (BCMD):  
HORIZONTAL: BCMD  
VERTICAL: BCD

BCNR-11857  
ePLANS:



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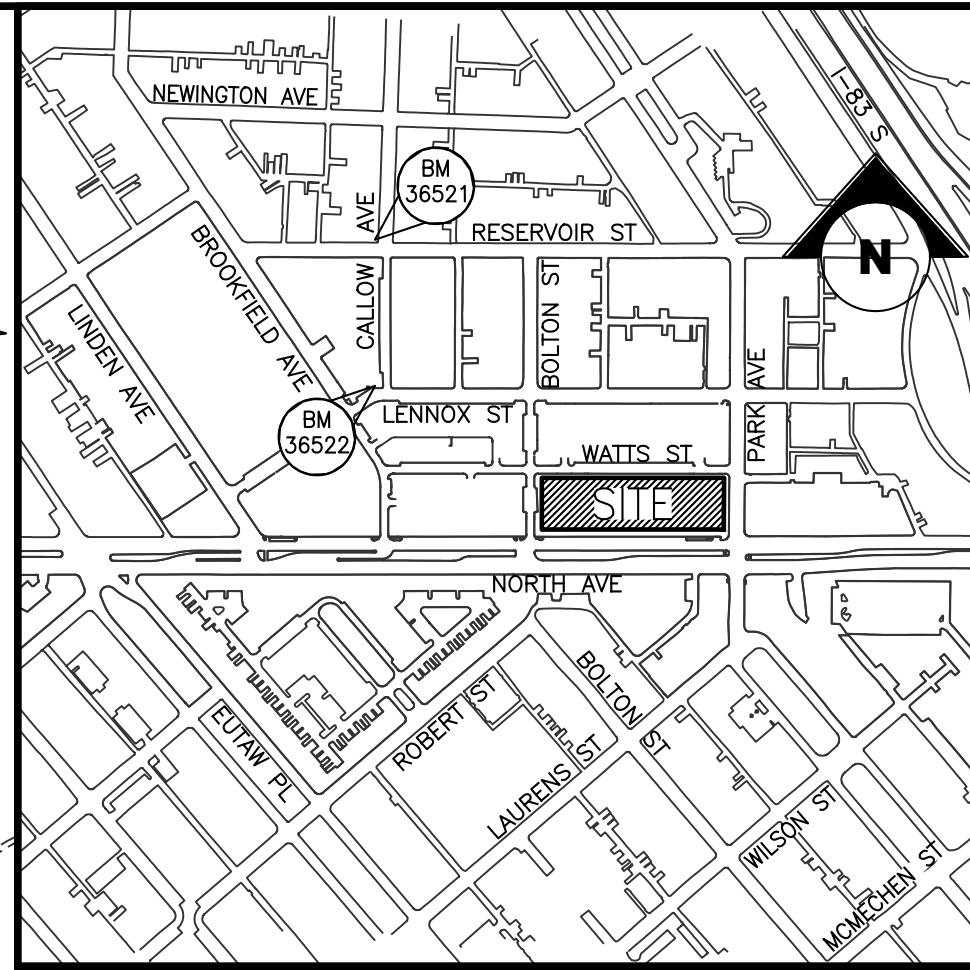
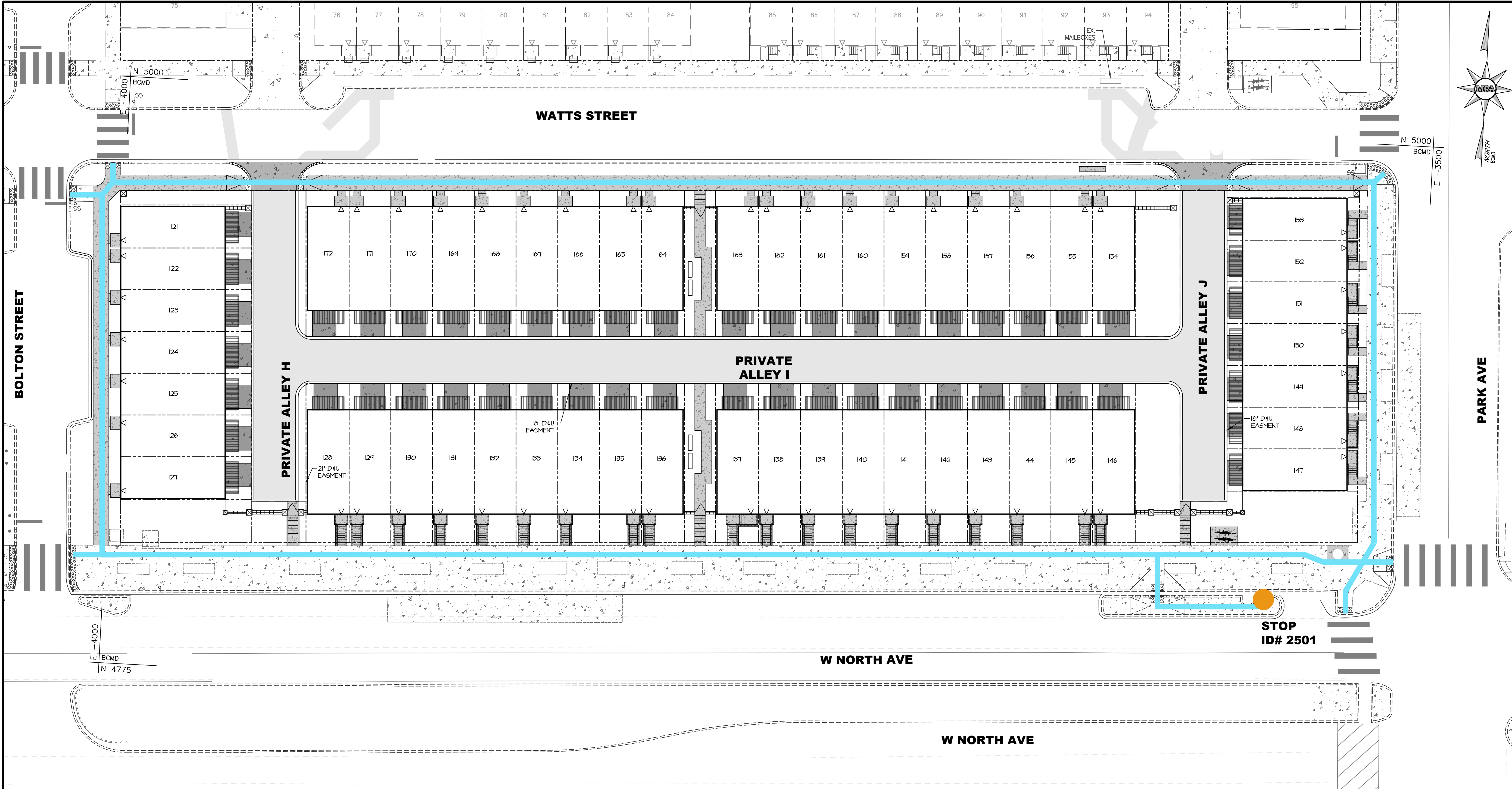
#### PARCEL C AT RESERVOIR SQUARE 700 W NORTH AVENUE PRELIMINARY DEVELOPMENT PLAN

#### UTILITY PLAN

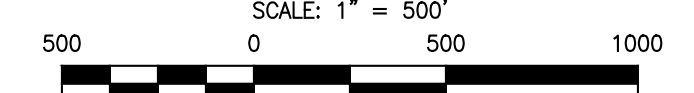
BALTIMORE CITY, MD 21217  
WARD: 13 - SECTION: 110  
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		DRAWN BY: DJK/JHK/ZWB
		DESIGN BY: DJK/JHK/ZWB
		REVIEW BY: JTS
		SHEET: 04 OF 15





VICINITY MAP



BENCHMARKS

BALTIMORE CITY SURVEY CONTROL STATION RECORD

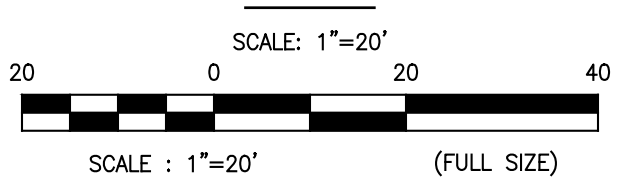
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LEGEND

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- EX. ADJACENT PROPERTY LINE
- EX. BUILDING
- EX. CURB & GUTTER
- EX. CONCRETE
- EX. DETECTABLE WARNING SURFACE
- EX. DASHED ROAD MARKINGS
- EX. SOLID ROAD MARKINGS
- PR. BUILDING
- PR. LOT LINE
- PR. CURB & GUTTER
- PR. CONCRETE SIDEWALK
- PR. CONCRETE DRIVEWAY
- PR. CONCRETE ENTRANCE
- PR. ASPHALT
- PR. DETECTABLE WARNING SURFACE
- PR. GRASS
- PR. ACCESSIBLE PATH
- PR. BUS STOP

PLAN



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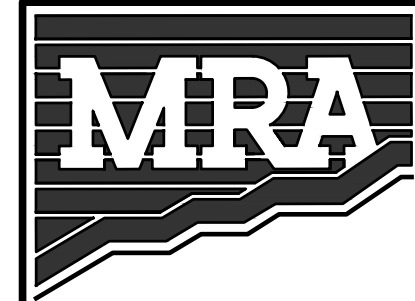
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DATUM

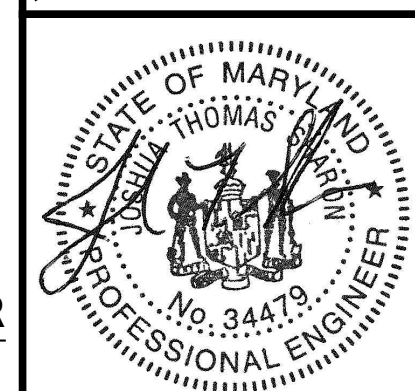
DESIGN & DRAWING BASED ON  
BALTIMORE COUNTY METROPOLITAN  
DISTRICT SYSTEM (BCMD):  
HORIZONTAL: BCMD  
VERTICAL: BCD

BCNR-11857  
ePLANS:

SHEET  
**C-05**



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**PARCEL C AT RESERVOIR SQUARE**  
700 W NORTH AVENUE  
**PRELIMINARY DEVELOPMENT PLAN**

MOBILITY PLAN

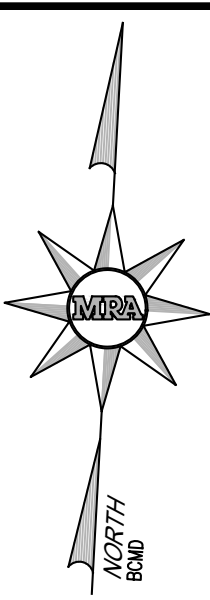
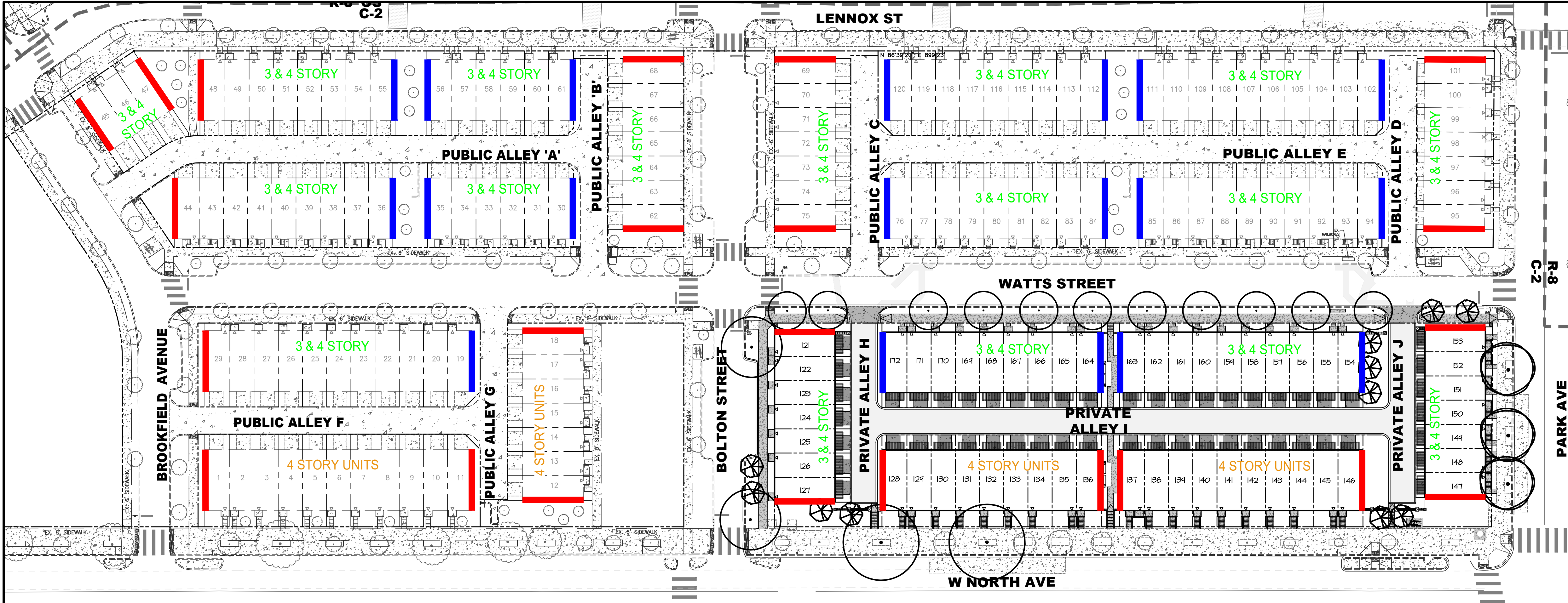
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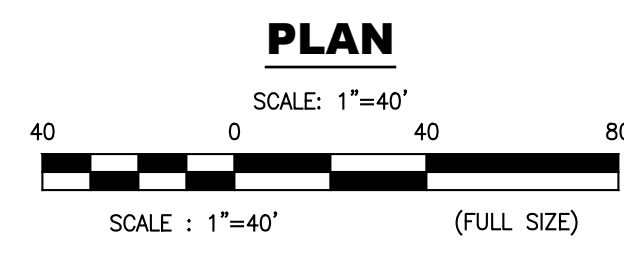




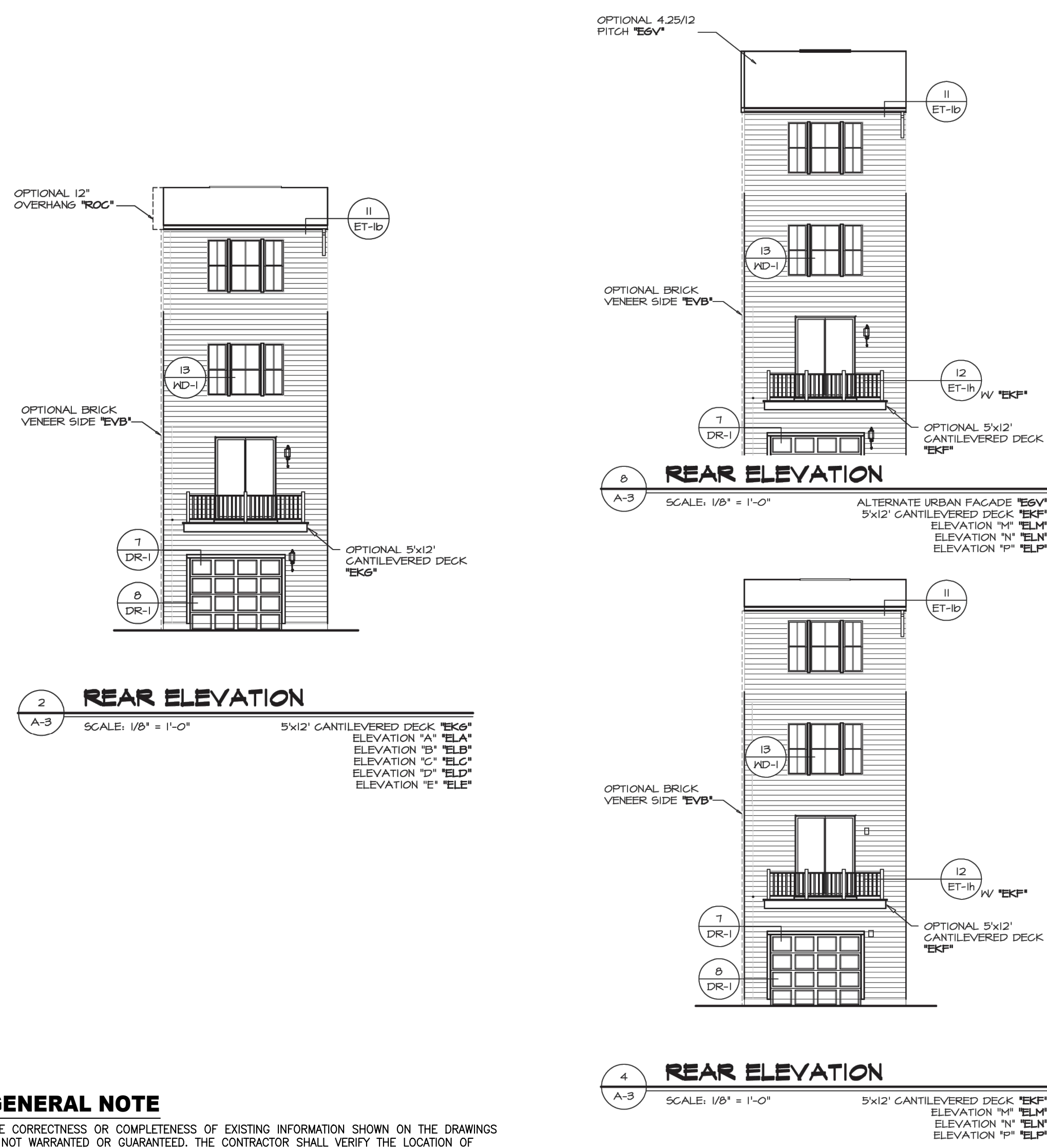
1 CLAREDON 5 UNIT REAR GARAGE  
NTS



2 CLAREDON 7 UNIT LENNOX STREET  
NTS



PLAN



4 CLAREDON URBAN RIGHT SIDE  
NTS



5 CLAREDON URBAN RIGHT SIDE - INTERIOR ONLY  
NTS



3 CLAREDON 11 UNIT NORTH AVENUE  
NTS

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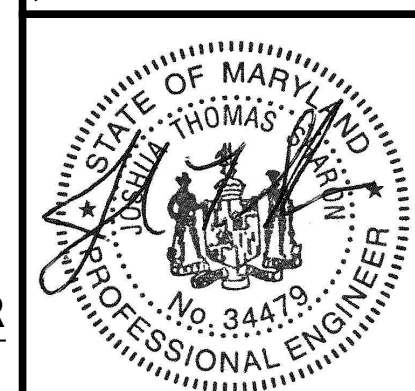
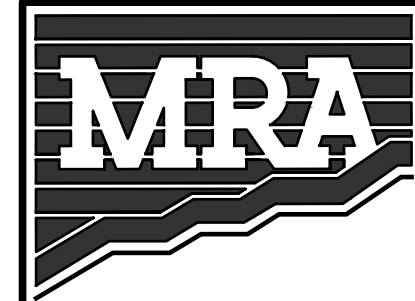


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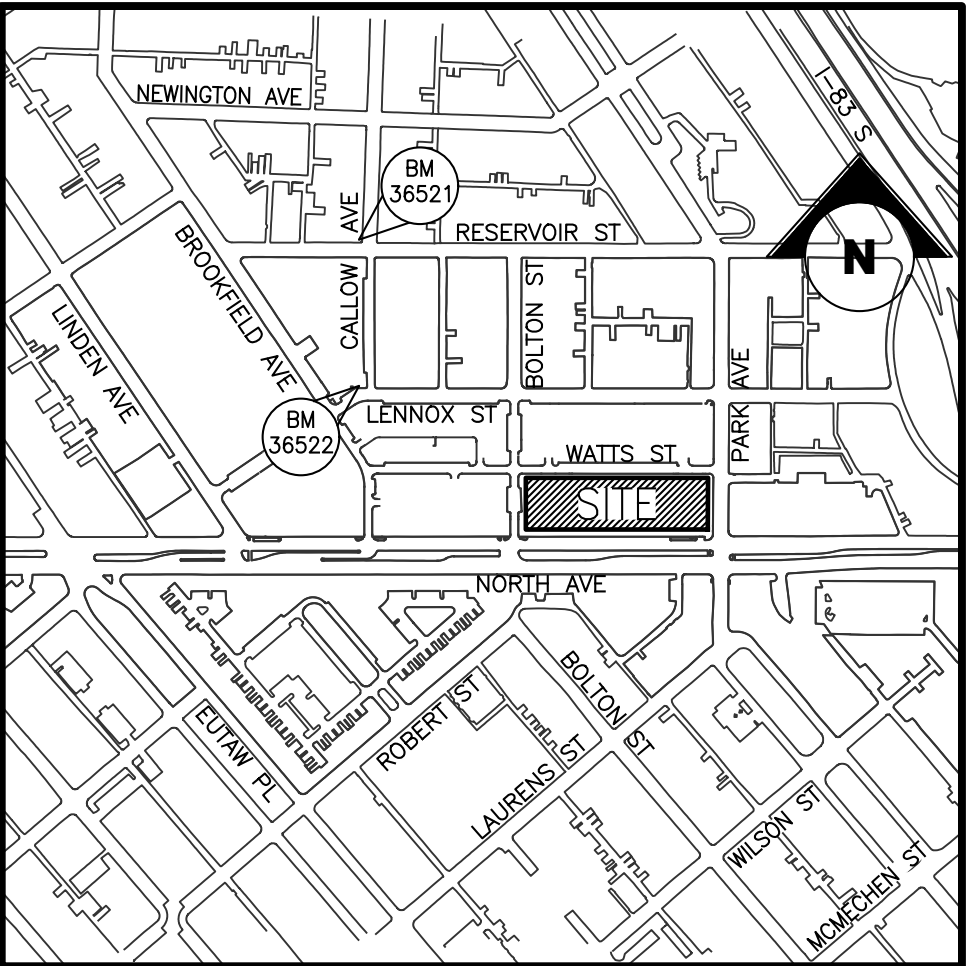
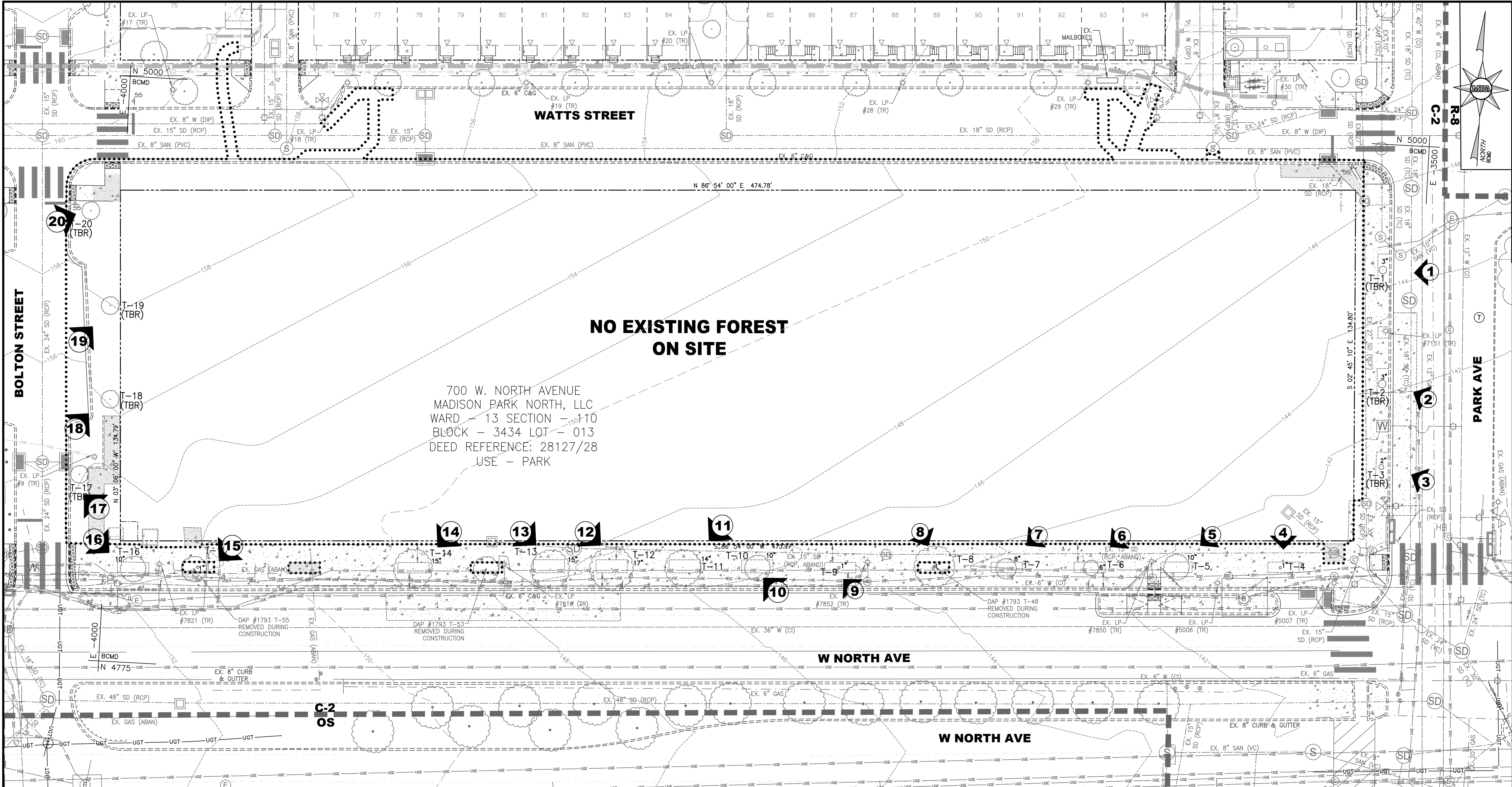
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**PARCEL C AT RESERVOIR SQUARE**  
700 W NORTH AVENUE  
**PRELIMINARY DEVELOPMENT PLAN**  
  
BUILDING ELEVATIONS

DATE	REVISION	JOB NO.:
		20140x06
		SCALE: AS SHOWN
		DATE: 11/10/2025
		DRAWN BY: DJKHJKZWB
		DESIGN BY: DJKHJKZWB
		REVIEW BY: JTS
		SHEET: 06 OF 15





#### VICINITY MAP

SCALE: 1" = 500'



#### BENCHMARKS

BALTIMORE CITY SURVEY CONTROL STATION RECORD

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ELEV. 199.11  
DESCRIPTION: NAIL IN THE CONCRETE WALK ON THE CORNER OF CALLOW AVENUE AND RESERVOIR STREET.  
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#### LEGEND

- EX. RIGHT-OF-WAY
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- EX. CONCRETE
- EX. DETECTABLE WARNING SURFACE
- EX. DASHED ROAD MARKINGS
- EX. SOLID ROAD MARKINGS
- EX. ZONING LINE
- EX. TREE
- TREE PHOTO ANGLE

#### SITE DATA

1. SITE ADDRESS: 700 W. NORTH AVENUE, BALTIMORE, MD 21217
2. WARD/SECTION/BLOCK: 13/110/3434
3. LOTS: 013
4. TOTAL PROPERTY AREA: 63,943 SF (1.468 AC.)

#### ENVIRONMENTAL NOTES

1. SOILS: 44UC URBAN LAND, 0-15% SLOPES
2. THE PROJECT IS SUBJECT TO STORMWATER MANAGEMENT REVIEW.
3. THIS PROJECT IS NOT WITHIN THE 100-YEAR OR 500-YEAR BALTIMORE CITY FLOODPLAIN. PANEL NUMBER: 2400870017E
4. THE SITE IS NOT LOCATED WITHIN THE CHESAPEAKE BAY CRITICAL AREA.
5. THERE ARE LANDSCAPE MANUAL SITE CONDITIONS PRESENT THAT WOULD REQUIRE LANDSCAPE MANUAL PLANTING. SEE LANDSCAPE PLANS.
6. THERE ARE NO WETLANDS PRESENT ON THE SUBJECT PROPERTY.
7. THERE ARE NO EXISTING SEPTIC SYSTEMS ON SITE.
8. THERE ARE NO EXISTING WELLS ON THE SITE. THE SITE IS TO BE SERVED BY PUBLIC WATER.
9. SOILS WERE OBTAINED FROM THE NRCS SOIL SURVEY USING THE DATA MART WEB SITE. THE PROJECT DISTURBS OVER 5000SF SO IT IS SUBJECT TO THE FOREST CONSERVATION PROGRAM. NO FOREST OR SPECIMEN TREES EXIST ON SITE SO ONLY A SIMPLIFIED FOREST STAND DELINEATION PLAN IS REQUIRED.

#### ZONING INFORMATION

1. EXISTING ZONING: C-2 RESERVOIR HILL
2. NEIGHBORHOOD: VACANT LOT (PREVIOUSLY SECTION 8 HOUSING)
3. EXISTING USE: RESIDENTIAL DWELLING: 2-STORY ROWHOMES (CONDITIONAL - USE BY BMZA)
4. PROPOSED USE: GENERAL COMMERCIAL DISTRICT (AS PER TABLE 10-301, C-2)
5. PERMITTED USE: 52
6. PROPOSED DWELLINGS: 52

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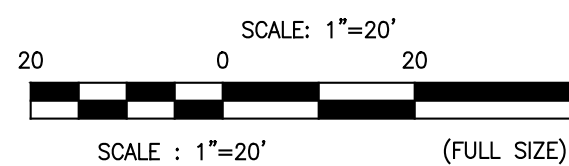
#### FSD NOTES

1. NO RARE, THREATENED OR ENDANGERED SPECIES WERE OBSERVED ON THE PROPERTY.
2. SURROUNDING LAND USE IS ZONED R-8 RESIDENTIAL AND A SMALL PARK ZONED AS OS (OPEN SPACE).
3. NO WETLANDS ARE PRESENT ON SITE.
4. SEE LANDSCAPE PLAN BY OTHERS FOR DETAILS ON MITIGATION PLANTING.
5. T-48 AND T-53 WERE REMOVED BY BALTIMORE CITY FORESTRY, AND THEY WILL NOT NEED MITIGATION. SEE TREE INVENTORY AND FOREST STAND NARRATIVE, THIS SHEET.
6. T-55 FROM THE APPROVED DAP #1793 FOREST CONSERVATION PLAN WAS REMOVED DUE TO POOR CONDITION, AND THEREFORE DOES NOT NEED MITIGATION.

#### TREE INVENTORY

TREE ID	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	INVASIVE/NATIVE	NOTES	ACTION	LOCATION
1	Zelkova serrata	Japanese Zelkova	3"cal.	GOOD	INVASIVE	SEE FSD NOTE #9	TO BE REMOVED	PUBLIC - ROW
2	Zelkova serrata	Japanese Zelkova	3"cal.	GOOD	INVASIVE	SEE FSD NOTE #9	TO BE REMOVED	PUBLIC - ROW
3	Zelkova serrata	Japanese Zelkova	2"cal.	GOOD	INVASIVE	SEE FSD NOTE #9	TO BE REMOVED	PUBLIC - ROW
4	Nyssa sylvatica	Black Gum	1"cal.	GOOD	NATIVE	SEE FSD NOTE #8	TO REMAIN	PUBLIC - ROW
5	Acer rubrum	Red Maple	10"cal.	GOOD	NATIVE		TO REMAIN	PUBLIC - ROW
6	Acer rubrum	Red Maple	6"cal.	FAIR	NATIVE		TO REMAIN	PUBLIC - ROW
7	Acer rubrum	Red Maple	8"cal.	GOOD	NATIVE		TO REMAIN	PUBLIC - ROW
8	Quercus bicolor	Swamp White Oak	1"cal.	GOOD	NATIVE		TO REMAIN	PUBLIC - ROW
9	Prunus serotina	Black Cherry	1"cal.	GOOD	NATIVE		TO REMAIN	PUBLIC - ROW
10	Acer rubrum	Red Maple	10"cal.	GOOD	NATIVE		TO REMAIN	PUBLIC - ROW
11	Acer rubrum	Red Maple	14"cal.	GOOD	NATIVE		TO REMAIN	PUBLIC - ROW
12	Acer rubrum	Red Maple	17"cal.	GOOD	NATIVE		TO REMAIN	PUBLIC - ROW
13	Acer rubrum	Red Maple	15"cal.	GOOD	NATIVE		TO REMAIN	PUBLIC - ROW
14	Acer rubrum	Red Maple	15"cal.	GOOD	NATIVE		TO REMAIN	PUBLIC - ROW
15	Quercus bicolor	Swamp White Oak	1"cal.	GOOD	NATIVE		TO REMAIN	PUBLIC - ROW
16	Acer rubrum	Red Maple	10"cal.	GOOD	NATIVE		TO REMAIN	PUBLIC - ROW
17	Amelanchier arborea	Common Serviceberry	1"	GOOD	NATIVE	SEE FSD NOTE #7	TO BE REMOVED	PUBLIC - ROW
18	Quercus alba	White Oak	2.5"	GOOD	NATIVE	SEE FSD NOTE #7	TO BE REMOVED	PUBLIC - ROW
19	Quercus alba	White Oak	2.5"	GOOD	NATIVE	SEE FSD NOTE #7	TO BE REMOVED	PUBLIC - ROW
20	Amelanchier arborea	Common Serviceberry	1"	GOOD	NATIVE	SEE FSD NOTE #7	TO BE REMOVED	PUBLIC - ROW

#### PLAN



#### FOREST STAND NARRATIVE

THE RESERVOIR SQUARE PROJECT (PARCEL C) IS LOCATED IN THE 700 BLOCK OF WEST NORTH AVENUE IN THE RESERVOIR HILL NEIGHBORHOOD OF THE CITY OF BALTIMORE. THE SITE IS BOUNDED ON THE NORTH BY WATTS STREET, ON THE WEST BY BOLTON STREET, TO THE SOUTH BY WEST NORTH AVENUE, AND TO THE EAST BY PARK AVENUE. THE PROPERTY IS ZONED C-2 (COMMERCIAL OFFICE BUILDING).

THE SITE IS CURRENTLY A VACANT LOT AND STAGING AREA FOR ADJACENT DEVELOPMENT. THERE ARE NO LIVING TREES OR FOREST ON THE PROPERTY. THIS SITE ENCOMPASSES APPROXIMATELY 1.468 ACRES OR 63,943 S.F. (GROSS AREA). NO SPECIMEN TREES EXIST WITHIN 50' OF THE LIMIT OF DISTURBANCE.

TEN (10) TREES HAVE BEEN PLANTED AS A PART OF THE APPROVED DAP #1793, OF THOSE TEN, ZERO (0) WERE INSTALLED AS SHOWN ON APPROVED PLANS. BALTIMORE CITY OFFICE OF SUSTAINABILITY HAS RECOMMENDED LEAVING ALL TREES INSTALLED THAT ARE NOT RED MAPLE, INVASIVE OR IMPACTED BY CONSTRUCTION.

ALL PROPOSED RED MAPLE WITHIN DAP #1793 WILL BE REPLACED AND SHOWN IN THE PROPOSED FOREST CONSERVATION/LANDSCAPE PLAN WITH ALTERNATIVE SPECIES PER BALTIMORE CITY RECOMMENDATIONS. EXCEPT FOR THE STREET TREES PREVIOUSLY MENTIONED THERE IS NO LIVING VEGETATION EXISTING ON THIS PROPOSED SITE.



Know what's below.  
Call before you dig.

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ePLANS:



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**PARCEL C AT RESERVOIR SQUARE**  
700 W NORTH AVENUE  
**PRELIMINARY DEVELOPMENT PLAN**  
SIMPLIFIED FOREST STAND DELINEATION PLAN

DATE	REVISION	JOB NO.:	20140x06
		SCALE:	AS SHOWN
		DATE:	11/10/2025
		DRAWN BY:	TJZ/LJC
		DESIGN BY:	ZWB/TJC
		REVIEW BY:	ZWB
		SHEET:	07 OF 15





PHOTO 1



PHOTO 2



PHOTO 3



PHOTO 4



PHOTO 5



PHOTO 6



PHOTO 7



PHOTO 8



PHOTO 9



PHOTO 10

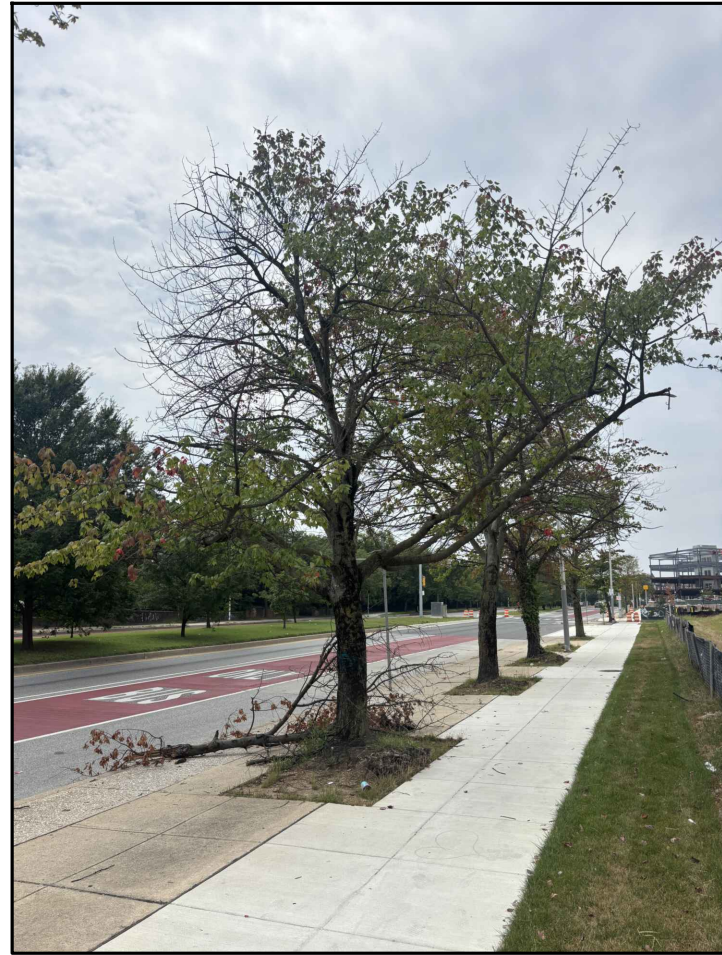


PHOTO 11



PHOTO 12



PHOTO 13



PHOTO 14



PHOTO 15



PHOTO 16



PHOTO 17



PHOTO 18



PHOTO 19



PHOTO 20

**GENERAL NOTE**

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Know what's below.  
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PROTECT YOURSELF, GIVE THREE WORKING DAYS NOTICE  
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**OWNER/DEVELOPER**

RESERVOIR SQUARE PARCEL C LLC  
1 SOUTH STREET, SUITE 2800  
BALTIMORE, MD 21202  
ATTN: DAVID POLONSKY  
PHONE: 410-547-7189  
EMAIL: DPOLONSKY@ATAPCO.COM

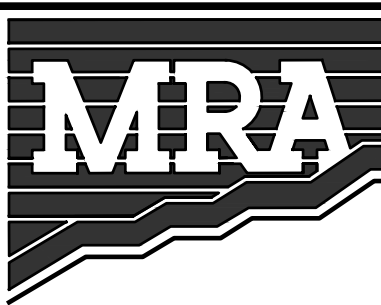
**DATUM**

DESIGN & DRAWING BASED ON  
BALTIMORE COUNTY METROPOLITAN  
DISTRICT SYSTEM (BCMD):  
HORIZONTAL: BCMD  
VERTICAL: BCD

BCNR-11857  
ePLANS:

SHEET

**C-08**



PROFESSIONAL CERTIFICATION:  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14028, EXPIRATION DATE: 10/21/2027.

**MORRIS & RITCHIE ASSOCIATES, INC.**

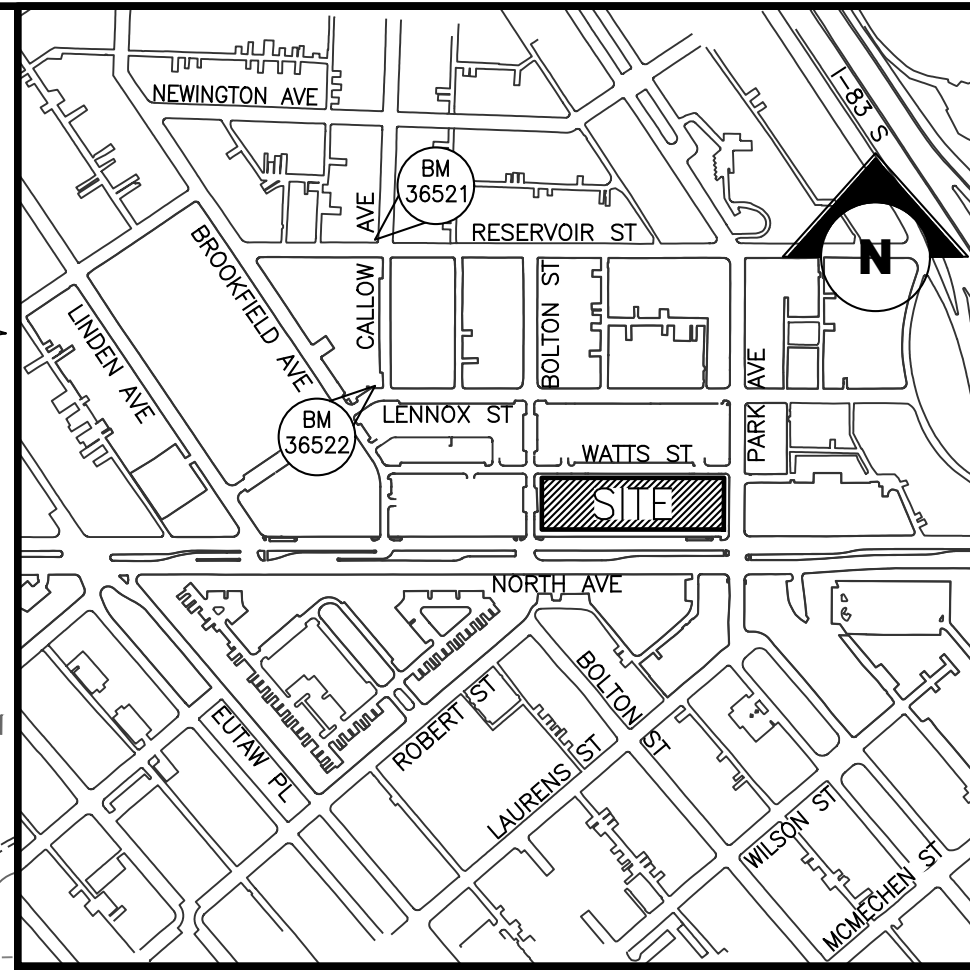
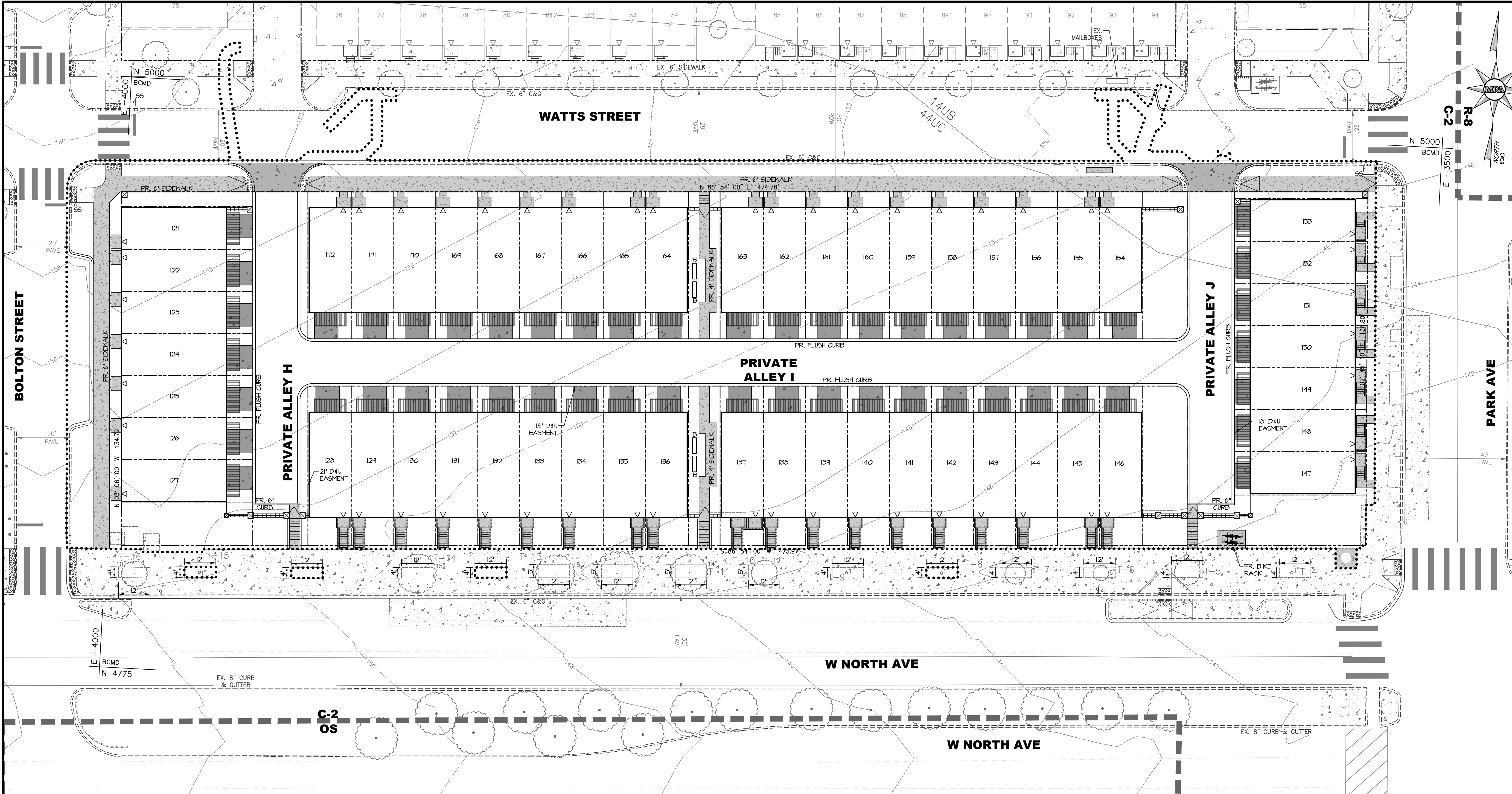
ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS  
1220-B EAST JOPPA ROAD, SUITE 400K  
TOWSON, MD 21286  
410-821-1690  
FAX: 410-821-1748  
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**PARCEL C AT RESERVOIR SQUARE**  
700 W NORTH AVENUE  
**PRELIMINARY DEVELOPMENT PLAN**  
SIMPLIFIED FOREST STAND DELINEATION PLAN - SITE PHOTOS

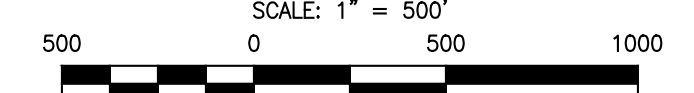
BALTIMORE CITY, MD 21217  
WARD: 13 - SECTION: 110  
BLOCK: 3434 - LOT: 13

DATE	REVISION	JOB NO.:
		20140x06
		SCALE: AS SHOWN
		DATE: 11/10/2025
		DRAWN BY: TJZ/LJC
		DESIGN BY: ZWB/TJZ
		REVIEW BY: ZWB
		SHEET: 08 OF 15





VICINITY MAP



BENCHMARKS

BALTIMORE CITY SURVEY CONTROL STATION RECORD

- #36521  
ELEV. 199.11  
DESCRIPTION: NAIL IN THE CONCRETE WALK ON THE CORNER OF CALLOW AVENUE AND RESERVOIR STREET.  
N 5,551.49  
W 4,468.60
- #36522  
ELEV. 179.98  
DESCRIPTION: NAIL IN THE CONCRETE WALK ON THE CORNER OF CALLOW AVENUE AND LENNOX STREET.  
N 5,171.63  
E 4,447.83

LEGEND

- EX. RIGHT-OF-WAY
- EX. ADJACENT PROPERTY LINE
- EX. BUILDING
- EX. CURB & GUTTER
- EX. CONCRETE
- EX. DETECTABLE WARNING SURFACE
- EX. DASHED ROAD MARKINGS
- EX. SOLID ROAD MARKINGS
- EX. ZONING LINE
- PR. WATER
- PR. STORM DRAIN
- PR. SEWER
- PR. UNDERGROUND ELECTRIC
- PR. COMCAST
- EX. TREE
- PR. BUILDING
- PR. LOT LINE
- PR. CONCRETE SIDEWALK
- PR. CONCRETE DRIVEWAY
- PR. CONCRETE ENTRANCE
- PR. DETECTABLE WARNING SURFACE
- PR. GRASS
- PR. METAL FENCE
- PR. FREE STANDING WALL
- PR. BENCH
- PR. MAJOR TREE
- PR. MINOR TREE
- PR. ORNAMENTAL TREE

GENERAL NOTES

- SEE SHEET SPRC-07 FOR SITE DATA, ZONING INFORMATION, ENVIRONMENTAL NOTES AND FOREST STAND DELINEATION DETAILS.
- SEE SHEET SPRC-10-12 FOR LANDSCAPE PLAN AND DETAILS.

FCP NOTES

- NO RARE, THREATENED OR ENDANGERED SPECIES WERE OBSERVED ON THE PROPERTY.
- SURROUNDING LAND USE IS ZONED R-8 RESIDENTIAL AND A SMALL PARK ZONED AS OS (OPEN SPACE).
- SEE BELOW FOR STREET TREE REMOVAL MITIGATION.
- SEE SIMPLIFIED FOREST STAND DELINEATION PLAN FOR TREE INVENTORY.

FOREST CONSERVATION AND TREE MITIGATION REQUIREMENTS:

**AFFORESTATION REQUIREMENTS:**  
AFFORESTATION WAS APPROVED AS A PART OF THE FOREST CONSERVATION PLAN FOR MADISON PARK DAP #1793. THE NET TRACT AREA USED TO CALCULATE AFFORESTATION REQUIREMENTS INCLUDED THE ENTIRETY OF 700 WEST NORTH AVENUE, BALTIMORE MD 21217. THEREFORE NO AFFORESTATION IS REQUIRED AND NO FOREST CONSERVATION WORKSHEET IS PROVIDED.

(PARCEL C) TOTAL TREES REQUIRED = 0 TREES  
(PARCEL C) TOTAL TREES PROVIDED = 0 TREES

**TREE REMOVAL REQUIREMENTS WITHIN PUBLIC RIGHT OF WAY:**  
TREES REMOVED THAT ARE LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY HAVE A REQUIRED MITIGATION OF ONE CALIPER REPLACEMENT FOR EACH CALIPER INCH (DBH) REMOVED. NO MITIGATION IS REQUIRED FOR POOR, DEAD, OR INVASIVE TREE SPECIES. AS IDENTIFIED IN DAP #1793, A 16" CALIPER RED MAPLE (T-48) AND 10" CALIPER RED MAPLE (T-53) WERE REMOVED BY BALTIMORE CITY FORESTRY AND DO NOT NEED MITIGATION.

TOTAL TREE REMOVAL INCHES (DBH) WITHIN THE PUBLIC RIGHT OF WAY: 0 INCHES  
\*SEE TREE INVENTORY, FOREST STAND DELINEATION PLAN\*

TOTAL INCHES TO BE REPLACED = 0 INCHES

GENERAL NOTE

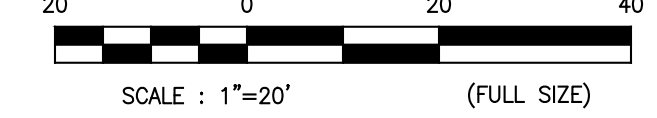
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LANDSCAPE NOTES

- THIS SITE IS SUBJECT TO BOTH THE BALTIMORE CITY LANDSCAPE MANUAL REQUIREMENTS AND FOREST CONSERVATION REQUIREMENTS.
- ALL PROPOSED PLANTINGS LOCATED OVER OR WITHIN 24" OF EXISTING/PROPOSED UTILITIES OR DUCT BANK SHALL BE HAND EXCAVATED. ALL MECHANICAL DIGGING EQUIPMENT IS PROHIBITED IN THESE CONDITIONS.
- ALL PROPOSED PAVING AND EXCAVATION WITHIN 5' OF EXISTING TREES SHALL BE HAND EXCAVATED. ALL MECHANICAL DIGGING EQUIPMENT IS PROHIBITED IN THESE CONDITIONS.

PLAN

SCALE: 1"=20'



SCALE : 1"=20' (FULL SIZE)



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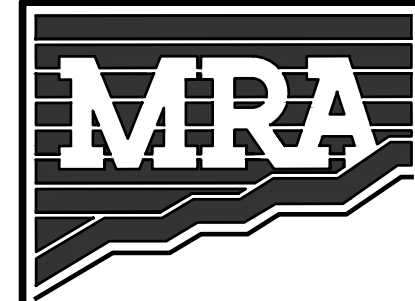
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DATUM

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BCNR-11857  
ePLANS:



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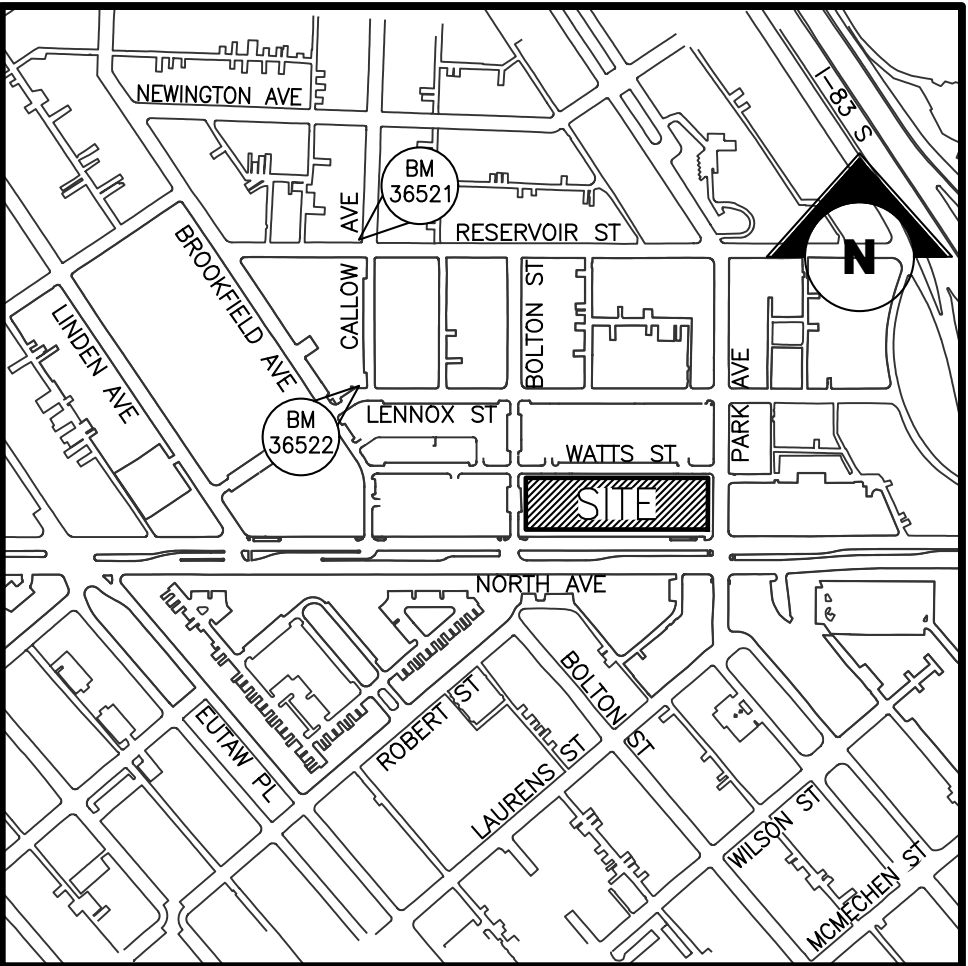
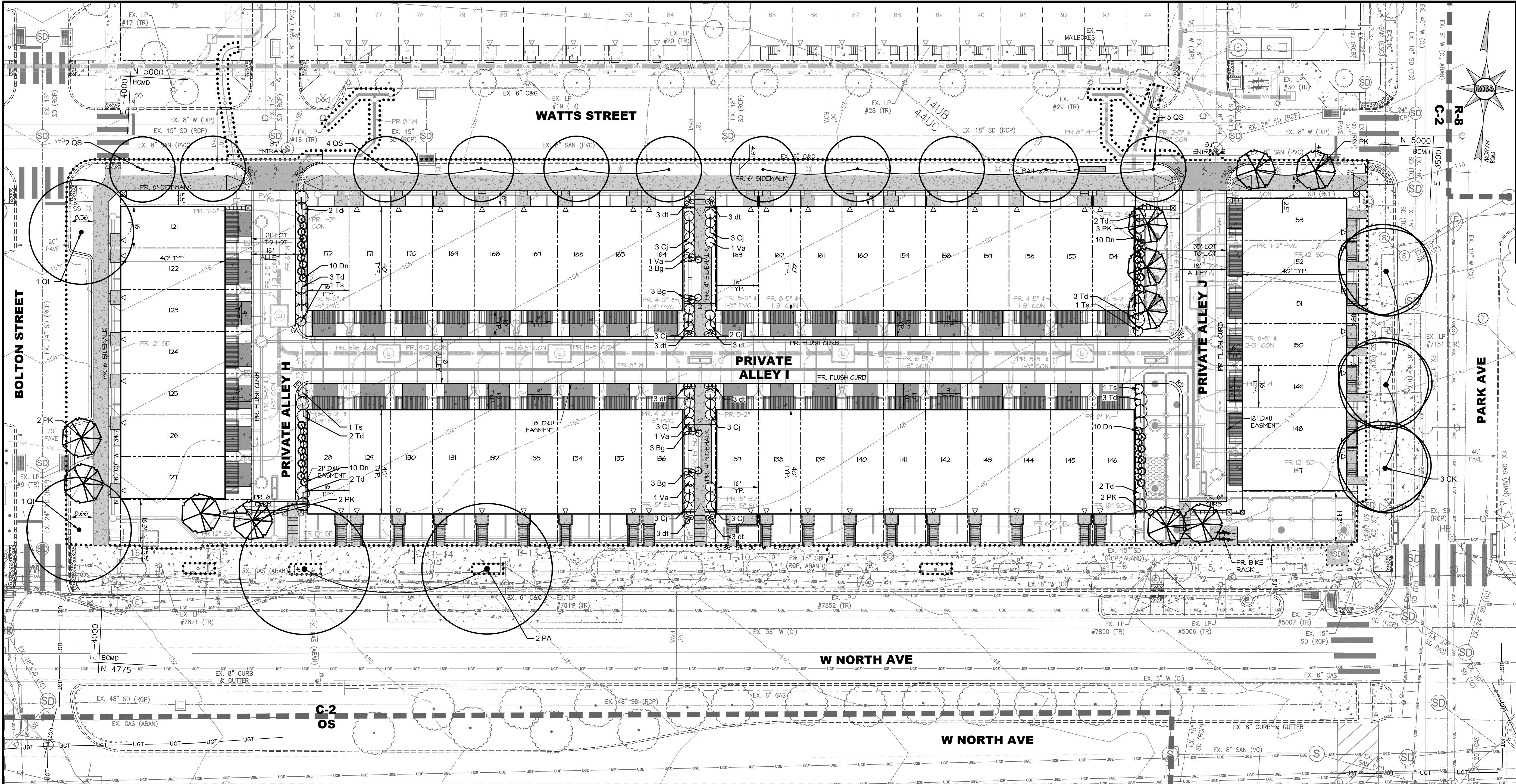
PARCEL C AT RESERVOIR SQUARE  
700 W NORTH AVENUE  
PRELIMINARY DEVELOPMENT PLAN

FOREST CONSERVATION PLAN

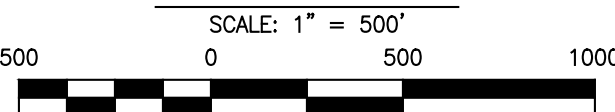
BALTIMORE CITY, MD 21217  
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		DRAWN BY:	TJZLJC
		DESIGN BY:	ZWB/TJZ
		REVIEW BY:	ZWB
		SHEET:	09 OF 15





#### VICINITY MAP



#### BENCHMARKS

BALTIMORE CITY SURVEY CONTROL STATION RECORD

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ELEV. 199.11  
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- #36522  
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#### LEGEND

- EX. RIGHT-OF-WAY
- EX. ADJACENT PROPERTY LINE
- EX. BUILDING
- EX. CURB & GUTTER
- EX. CONCRETE
- EX. DETECTABLE WARNING SURFACE
- EX. DASHED ROAD MARKINGS
- EX. SOLID ROAD MARKINGS
- EX. ZONING LINE
- EX. TREE
- PR. BUILDING
- PR. LOT LINE
- PR. CURB & GUTTER
- PR. CONCRETE SIDEWALK
- PR. CONCRETE DRIVEWAY
- PR. CONCRETE ENTRANCE
- PR. DETECTABLE WARNING SURFACE
- PR. GRASS
- PR. METAL FENCE
- PR. FREE STANDING WALL
- PR. PILLAR
- PR. BENCH
- PR. MAJOR TREE
- PR. MINOR TREE
- PR. ORNAMENTAL TREE
- PR. SHRUB
- PR. ORNAMENTAL GRASS

#### CONTRACTOR NOTES

- CONTRACTOR TO READ ALL PLANT, LANDSCAPE, SOIL AND PREPARATION SPECIFICATIONS AND NOTES PRIOR TO CONSTRUCTING OR INSTALLATION ANYTHING SHOWN ON THESE LANDSCAPE PLAN OR LANDSCAPE DETAIL SHEETS.
- ALL PLANT MATERIAL SHALL BE GUARANTEED FOR TWELVE MONTHS. THIS ONE-YEAR MAINTENANCE PERIOD BEGINS UPON FINAL INSPECTION AND ACCEPTANCE BY COUNTY.
- ALL TREES WITHIN TWENTY (20) FEET OF STATE OR COUNTY ROW SHALL BE PROFESSIONALLY STAKED BY LANDSCAPE CONTRACTOR AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OR OWNER WITHIN SEVEN (7) DAYS OF COMPLETION OF THE INSTALLATION TO SCHEDULE THE INSPECTION.
- CONTRACTOR TO PROVIDE EVIDENCE OF ROOT BARRIER INSTALLATION IN ORDER TO OBTAIN BALTIMORE CITY AS-BUILT APPROVAL.
- PRIOR TO INSTALLATION CONTRACTOR IS REQUIRED TO PROVIDE MATERIAL TICKETS TO MORRIS & RITCHIE ASSOCIATES FOR ALL SPECIFIED MATERIALS SHOWN ON THE LANDSCAPE PLANS, NOTES & DETAILS. THIS INCLUDES BUT NOT LIMITED TO: PLANT MATERIAL, TOPSOIL, PLANTING SOIL, SOIL AMENDMENTS, MULCH, SOD, LIGHTING, IRRIGATION, STONE, BRICK, CONCRETE PAVERS, PRE-EMERGENT, & FERTILIZER.
- TREE AND SHRUB LAYOUT SHALL FOLLOW THIS PLAN. CONTRACTOR WILL BE RESPONSIBLE FOR REPLACEMENT OR REPOSITIONING OF PLANT MATERIAL, WITHIN REASON, THAT DEVIATES FROM PROPOSED LAYOUT. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICT WITH PLANTING LAYOUT PRIOR TO INSTALLATION OF PLANT MATERIAL.

#### PLANTING UNIT CHART

Baltimore City Planting Unit Condition - Parcel C	PU Credit Requirement Rate	Distance/Area	Required Planting Units (PU)
Condition F Street Frontage	1 PU/30 LF	1218.34	40.6
Total Required Planting Units (PU)			40.6

Baltimore City Proposed Planting Units	PU Credit Requirement Rate	Quantity	Provided Planting Units (PU)
Major Trees Provided (Min. 2.5" Caliper)	1 PU/1 Tree	18	18.0
Minor Trees Provided (Min. 1.25" Caliper)	1 PU/2 Trees	11	5.5
Evergreen Trees (Min. 6" Ht.)	1 PU/2 Trees	0	0.0
Shrubs (Min. 18"-36" Ht.)	1 PU/6 Shrubs	103	17.2
Herbaceous/Perennial Plants (Min. 1 Quart)	1 PU/20 Plants	24	1.2
Total Provided Planting Units (PU)			41.9

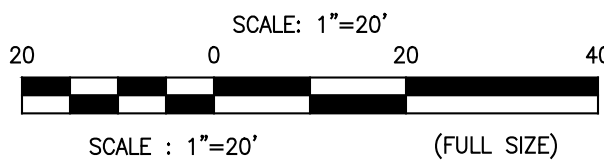
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#### GENERAL STREET TREE NOTES

- ALL STREET TREE MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY OF BALTIMORE, DEPARTMENT OF TRANSPORTATION STANDARD DETAILS AND SPECIFICATIONS FOR CONSTRUCTION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SUPPLY, INSTALL AND MAINTAIN ALL TREE PLANTINGS AND ROOT PROTECTION.
- THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL IN ACCORDANCE WITH BALTIMORE CITY STANDARDS. THE CONTRACTOR MUST MAINTAIN LOCAL TRAFFIC AT ALL TIMES.
- THE CONTRACTOR SHALL CONTACT THE PARKING METER DIVISION, (410) 396-9275 PRIOR TO ANY WORK AROUND PARKING METERS.
- THE CONTRACTOR SHALL MAINTAIN A MINIMUM FOUR (4) FOOT WIDE PEDESTRIAN FOOTWAY OR IMPLEMENT AN APPROPRIATE PEDESTRIAN DETOUR WHILE ACTIVELY WORKING IN THE SIDEWALK.
- IN ORDER TO WORK IN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR MUST OBTAIN PERMITS FROM THE DEPT. OF GENERAL SERVICES. APPLICATIONS FOR PERMITS ARE ACCEPTED AT THE D.P.W. PERMITS DIVISION IN THE ABEL WOLMAN MUNICIPAL BUILDING, 200 N. HOLLIDAY STREET SUITE 600, PHONE (410) 396-8665 (OR 4508). DURING THE PERMIT REVIEW THE CONTRACTOR MAY BE BILLED ADDITIONAL TRAFFIC INSPECTION FEES NOT RELATED TO ANY PREVIOUS COSTS.
- THE CONTRACTOR IS REQUIRED TO PROTECT AND MAINTAIN EXISTING SIGNALS, AND ALL LIGHTING AND CONDUIT FACILITIES DURING CONSTRUCTION. CALL STREET LIGHTING MAINTENANCE AT (410) 396-1311 AT LEAST TEN (10) DAYS PRIOR TO STARTING WORK.
- ALL PROPOSED TREE PITS SHALL BE A MINIMUM OF 12' IN LENGTH AND 4' IN WIDTH UNLESS OTHERWISE STATED BY THE OFFICE OF SUSTAINABILITY.

#### PLAN



#### PLANTING SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
TREES						
CK	3	Cladrastis kentukea	American Yellowwood	3" Cal.	B&B	
PA	2	Platanus x acerifolia	London Plane Tree	2.5" Cal.	B&B	
QI	2	Quercus imbricaria	Shingle Oak	2.5" Cal.	B&B	
QS	11	Quercus shumardii	Shumard Oak	2.5" Cal.	B&B	
	18	SUBTOTAL:				
FLOWERING TREES						
PK	11	Prunus x okame	Okame Cherry	1.5" Cal. / 6' Ht.	B&B	Single stem, strong central leader
	11	SUBTOTAL:				
SHRUBS						
Bg	12	Buxus x 'Green Gem'	Green Gem Boxwood	18"-24" Ht.	B&B/CG	
Cj	23	Camellia japonica	Camellia	18" - 24" Ht.	CG	
Dn	40	Deutzia gracilis 'Nikko'	Slender Deutzia	24"-30" Ht.	CG	
Td	19	Taxus x media 'Densiformis'	Dense Yew	30"-36" Ht.	B&B	Heavy to ground
Ts	4	Thuja occidentalis 'Smaragd'	Emerald Green Arborvitae	5' -6" Ht.	B&B	
Va	4	Viburnum x 'NCV4'	Sweet Talker® Fragrant Viburnum	18" - 24" Ht.	CG	
	102	SUBTOTAL:				
GRASSES						
dt	24	Deschampsia cespitosa	Tufted Hair Grass	1 gal.	Cont.	
	24	SUBTOTAL:				



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#### OWNER/DEVELOPER

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ATTN: DAVID POLONSKY  
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MRA@MRA.COM

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#### PARCEL C AT RESERVOIR SQUARE 700 W NORTH AVENUE PRELIMINARY DEVELOPMENT PLAN

#### LANDSCAPE PLAN

BALTIMORE CITY, MD 21217  
WARD: 13 - SECTION: 110  
BLOCK: 3434 - LOT: 13

DATE	REVISION	JOB NO.:
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		DATE: 11/10/2025
		DRAWN BY: TJZ/LJC
		DESIGN BY: ZWB/TJZ
		REVIEW BY: ZWB
		SHEET: 10 OF 15



GENERAL NOTES

1. LANDSCAPE DRAWINGS ARE FOR LANDSCAPING INFORMATION ONLY. REFER TO SITE PLAN, UTILITY PLAN, AND SEDIMENT AND EROSION CONTROL PLANS FOR ALL OTHER INFORMATION. THE CONTRACTOR SHALL REVIEW ALL ARCHITECTURAL/ENGINEERING PLANS TO BECOME THOROUGHLY FAMILIAR WITH GRADING AND SURFACE UTILITIES.
2. THE CONTRACTOR SHALL COORDINATE WITH LIGHTING AND IRRIGATION CONTRACTORS REGARDING TIMING OF PLANT MATERIAL INSTALLATION. LANDSCAPE IRRIGATION TO BE DESIGNED AND INSTALLED BY CONTRACTOR IF REQUESTED BY THE OWNER.
3. EVERY POSSIBLE SAFEGUARD SHALL BE TAKEN TO PROTECT BUILDING SURFACES, EQUIPMENT, AND FURNISHINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE OR INJURY TO PERSON OR PROPERTY WHICH MAY OCCUR AS A RESULT OF HIS NEGLIGENCE IN THE EXECUTION OF THE WORK.

PLANT SPECIFICATIONS

1. PLANTS SHALL CONFORM TO THE CURRENT "AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1)," LATEST EDITION, PARTICULARLY WITH REGARD TO SIZE, GROWTH, SIZE OF BALL, AND DENSITY OF BRANCH STRUCTURE. ALL PLANTS (B&B OR CONTAINER) SHALL BE PROPERLY IDENTIFIED BY WEATHERPROOF LABELS SECURELY ATTACHED THEREON BEFORE DELIVERY TO PROJECT SITE. LABELS SHALL IDENTIFY PLANTS BY NAME, SPECIES, AND SIZE. LABELS SHALL NOT BE REMOVED UNTIL THE FINAL INSPECTION BY THE LANDSCAPE ARCHITECT OR AGENT IN CHARGE. PLANT MATERIAL SHALL BE TAGGED AT THE SOURCE BY THE LANDSCAPE ARCHITECT UNLESS THIS REQUIREMENT IS SPECIFICALLY WAIVED. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN CONSENT OF THE OWNER OR LANDSCAPE ARCHITECT. ALL PLANT MATERIAL SHALL BE BALLED AND BURLAPPED (B&B) OR CONTAINER GROWN UNLESS OTHERWISE NOTED. ALL PLANT MATERIALS SHALL BE FULL HEAVY SPECIMENS. PLANTS SHALL BE HIGH QUALITY NURSERY GROWN AND SHALL BE HEALTHY, VIGOROUS, AND DENSELY FOLIATED, TYPICAL OF THEIR SPECIES AND VARIETY, AND HAVE WELL DEVELOPED BRANCHES AND VIGOROUS ROOT SYSTEMS.
2. TREES SHALL BE FRESHLY DUG AND NURSERY GROWN. THEY SHALL HAVE BEEN GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT OR PROPERLY ACCLIMATED TO CONDITIONS OF THE LOCALITY OF THE PROJECT.
3. TREES SHALL BE FREE FROM DEFECTS AND INJURIES, AND BE CERTIFIED BY APPROPRIATE FEDERAL AND STATE AUTHORITIES TO BE FREE OF DISEASES AND INSECT INFESTATIONS.
4. PLANT MATERIAL AVAILABILITY MAY VARY AT THE TIME OF CONSTRUCTION. ANY SUBSTITUTIONS ARE TO BE OF EQUIVALENT SPECIES, QUANTITY, AND LOCATION. SIZE SUBSTITUTIONS MUST BE THE SAME SIZE (OR LARGER), AND MUST BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
5. QUANTITIES OF TREES, EVERGREENS, SHRUBS AND GROUNDCOVER NOTED ON THE PLANT LIST ARE BASED UPON THE GRAPHIC SYMBOLS SHOWN ON THE DRAWINGS. IF THERE IS A DISCREPANCY BETWEEN GRAPHIC SYMBOLS AND QUANTITIES SHOWN IN THE PLANT LIST, THE GREATER QUANTITY SHALL APPLY. CONTACT OWNER'S REPRESENTATIVE IF A DISCREPANCY IS FOUND BETWEEN THE QUANTITIES NOTED IN THE PLANT LIST AND THE SYMBOL COUNT OF PLANT MATERIALS SHOWN ON THE DRAWINGS.
6. THE LANDSCAPE ARCHITECT OR OWNER SHALL HAVE THE RIGHT, AT ANY STAGE OF THE OPERATIONS, TO REJECT ANY AND ALL WORK AND MATERIAL WHICH, IN THEIR OPINION, DOES NOT MEET THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS. ALL REJECTED MATERIALS SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
7. ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE PROPERTY OWNER OR INSTALLER FOR 24 MONTHS AFTER FINAL INSPECTION AND ACCEPTANCE OF THE WORK. PLANTS SHALL BE ALIVE AND IN SATISFACTORY GROWING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE PLANT MATERIAL SHALL BE GUARANTEED AGAINST DEFECTS, UNSATISFACTORY GROWTH, DISEASE, OR DEATH. UNSATISFACTORY, UNHEALTHY, DYING OR DEAD PLANT MATERIAL (IN THE OPINION OF THE LANDSCAPE ARCHITECT) SHALL BE REPLACED WITH THE SAME SIZE AND SPECIES. IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO ADEQUATELY AND PROPERLY MAINTAIN THE LANDSCAPED AREAS, INCLUDING MOWING OF TURF, WATERING, MULCHING, FERTILIZING, CLEANING OF WEEDS AND DEBRIS, PRUNING AND TRIMMING, REPLACEMENT OF DEAD OR DISEASED PLANTINGS, AND ANY OTHER CARE NECESSARY TO MAINTAIN HEALTHY GROWTH FOR THE WARRANTY PERIOD. THEREAFTER, THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTAINING ALL PLANT MATERIAL IN A HEALTHY CONDITION AT ALL TIMES. DEAD OR DISEASED PLANTS MAY BE REMOVED BUT SHALL BE REPLACED WITH NEW MATERIAL BY THE OWNER WITHIN ONE GROWING SEASON. THE CONTRACTOR MUST BE ABLE TO PROVIDE CONTINUED MAINTENANCE IF REQUESTED BY THE OWNER.

PLANTING & LANDSCAPE NOTES

1. THE CONTRACTOR SHALL ENSURE ADEQUATE VERTICAL DRAINAGE IN ALL PLANT BEDS AND PLANTERS. MAINTAIN POSITIVE DRAINAGE OUT OF PLANTING BEDS AT A MINIMUM 2% SLOPE. ALL GRADES, DIMENSIONS, AND EXISTING CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR ON SITE BEFORE CONSTRUCTION BEGINS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT OR OWNER.
2. THE CONTRACTOR SHALL STAKE ALL PLANT MATERIAL LOCATIONS ON SITE FOR REVIEW AND/OR ADJUSTMENT BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING. ALL LOCATIONS ARE TO BE APPROVED BY THE LANDSCAPE ARCHITECT BEFORE EXCAVATION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE STABILITY AND CONDITIONS OF ALL TREES AND SHRUBS AND SHALL BE LEGALLY LIABLE FOR ANY DAMAGE CAUSED BY INSTABILITY OF ANY PLANT MATERIALS. TREE STAKES SHALL BE SET AT LEAST TWO FEET (2') INTO THE GROUND. TREE STAKING AND GUYING SHALL BE DONE IN ACCORDANCE WITH THE LANDSCAPE DETAILS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ENSURE THAT TREES REMAIN PLUMB AND UPRIGHT FOR THE DURATION OF THE GUARANTEE PERIOD.
4. UPON COMPLETION OF THE INSTALLATION OF ALL LANDSCAPING, AN ACCEPTANCE OF THE WORK SHALL BE HELD. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OR OWNER FOR SCHEDULING THE INSPECTION AT LEAST SEVEN (7) DAYS PRIOR TO THE ANTICIPATED INSPECTION DATE.
5. UPON FINAL ACCEPTANCE AFTER THE DURATION OF THE GUARANTEE PERIOD IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REMOVE ALL GUY WIRES AND STAKING.
6. ALL PROPOSED TREES SHALL BE INSTALLED EITHER ENTIRELY IN OR ENTIRELY OUT OF PLANTING BEDS. PLANTING BED LINES ARE NOT TO BE OBSTRUCTED. ALL SHRUBS AND GROUNDCOVER AREAS SHALL BE PLANTED IN A CONTINUOUS PREPARED BED AND TOP DRESSED WITH SHREDDED HARDWOOD MULCH.
7. ALL TREE PITS, SHRUB BEDS, AND PREPARED PLANTING BEDS ARE TO BE COMPLETELY EXCAVATED IN ACCORDANCE WITH THE LANDSCAPE DETAILS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL DIG PLANTING PITS AND BEDS, AMEND SOIL (AS SPECIFIED), BACKFILL PLANTING AREAS, AND INSTALL PLANTS ONLY WHEN SOIL CONDITIONS ARE NOT WET, AND WHEN MIXING AND BACKFILLING WILL NOT ADVERSELY AFFECT SOIL STRUCTURE.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SLIGHT ADJUSTMENTS TO PLANT LOCATIONS IN THE FIELD AS NECESSARY TO BE CLEAR OF DRAINAGE SWALES, UTILITIES, AND SIGNAGE. TREES SHALL BE LOCATED A MINIMUM OF FIVE FEET (5') FROM WATER AND SEWER CONNECTIONS. STREET TREES SHALL BE LOCATED AND LIMBED UP TO AVOID BLOCKING PUBLIC STREET SIGNS. THE CONTRACTOR SHALL BE LIABLE FOR DAMAGE TO ANY AND ALL PUBLIC AND PRIVATE UTILITIES, AND WATER AND SEWER LINES. ANY MAJOR ADJUSTMENTS TO PLANT LOCATIONS SHALL BE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT.
9. TREES AND SHRUBS SHALL BE PLANTED DURING ACCEPTABLE PLANTING SEASONS:
- | SEASON | B&B        | CONTAINER | EVERGREEN | B&B       | CONTAINER |
|--------|------------|-----------|-----------|-----------|-----------|
| SPRING | 3/1-5/1    | 3/1-5/1   | 3/15-5/1  | 3/15-5/1  | 3/15-5/1  |
| FALL   | 10/1-12/31 | 9/1-12/31 | 9/1-11/15 | 9/1-11/15 | 9/1-11/15 |
10. ALL PLANT BEDS SHALL BE TOP DRESSED WITH A MINIMUM 2" AND A MAXIMUM OF 3" LAYER OF SHREDDED HARDWOOD BARK MULCH WITHIN TWO DAYS AFTER PLANTING. MULCH SHALL COVER ENTIRELY THE PLANTING BED AND HAVE BEEN SHREDDED WITHIN THE LAST SIX MONTHS. ALL TREES PLANTED IN TURF SHALL BE INSTALLED WITH A 3" DIAMETER MULCH RING. MULCH SHALL NOT BE PLACED WITHIN 6" OF TREE TRUNK. PLANTS SHALL BE WATERED TO THE POINT OF OVERFLOW OR SATURATION TWICE WITHIN THE FIRST 48 HOURS AFTER INSTALLATION.
11. ALL PLANTING BEDS ADJACENT TO LAWN, SOD, OR SEEDED AREAS SHALL BE SPADE EDGED.
12. IF BALLED AND BURLAPPED TREES ARE DELIVERED IN WIRE BASKETS, THE WIRE BASKETS SHALL BE CUT DOWN THE SIDE AND PEELED AWAY FROM THE ROOT BALL. NO PORTION OF THE WIRE BASKET SHALL REMAIN INTACT AROUND THE SIDES OF THE ROOT BALL OR EXTEND ABOVE FINISHED GRADE. THE CROWN OR ROOT BALL SHALL BE SET SO THAT THE TOP 1/6 OF THE ROOT BALL SITS ABOVE FINISH GRADE.
13. ALL DISTURBED AREAS NOT COVERED BY PAVING, PLANTING BEDS, OR OTHER SURFACE SPECIFIED ON THESE PLANS SHALL BE PLANTED WITH SOD OR TOP SOIL AND STABILIZED AS NOTED ON THE EROSION AND SEDIMENT CONTROL PLANS. ALL AREAS TO BE SEED OR SODDED SHALL HAVE A FOUR (4) INCH LAYER OF TOPSOIL. ALL PLANTING BED AREAS INDICATED ON THE LANDSCAPE PLAN SHALL HAVE A TWELVE (12) INCH LAYER OF TOPSOIL. PLANTING AREAS NOT IMPACTED BY SITE GRADING SHALL HAVE NO ADDITIONAL TOPSOIL INSTALLED.

GENERAL NOTE

THE CORRECTNESS OR COMPLETENESS OF EXISTING INFORMATION SHOWN ON THE DRAWINGS IS NOT WARRANTED OR GUARANTEED. THE CONTRACTOR SHALL VERIFY THE LOCATION OF UTILITIES AND UNDERGROUND FACILITIES, BY TEST PITS OR OTHER METHODS APPROVED BY THE OWNER'S REPRESENTATIVE, AS REQUIRED TO VERIFY EXACT LOCATIONS AND DEPTHS WITHIN THE LIMIT OF DISTURBANCE. ALL DISCREPANCIES BETWEEN INFORMATION SHOWN ON THE DRAWINGS AND THAT VERIFIED IN THE FIELD SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK.

14. EVIDENCE OF ROOT BARRIER INSTALLATION IS REQUIRED FOR AS BUILT PLAN APPROVAL. PRIOR TO AS BUILT INSPECTION, THE CONTRACTOR SHALL PROVIDE EVIDENCE TO THE LANDSCAPE ARCHITECT OF INSTALLATION OF ROOT BARRIER PER APPROVED FINAL LANDSCAPE PLANS. THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY REMOVAL AND REPLACEMENT OF PLANTINGS NECESSARY IF EVIDENCE IS NOT PROVIDED.
15. SEE PLANTING SOIL AND SOD PREPARATION NOTES FOR PLANTING SOIL DETAILS.

SITE PREPARATION NOTES

1. THE CONTRACTOR IS ADVISED OF THE EXISTENCE OF UNDERGROUND UTILITIES ON THE SITE. COORDINATE PLANT MATERIAL LOCATIONS WITH LOCATIONS OF SITE UTILITIES. EXERCISE CARE WHEN DIGGING IN THESE AREAS. UTILITY LOCATIONS ARE APPROXIMATE. THE EXACT LOCATIONS OF UTILITIES SHALL BE FIELD VERIFIED WITH THE OWNER OR GENERAL CONTRACTOR PRIOR TO THE COMMENCEMENT OF ANY DIGGING OPERATIONS. IN THE EVENT THAT UTILITIES ARE UNCOVERED, THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL DAMAGE TO UTILITIES AND SUCH DAMAGE SHALL NOT RESULT IN ANY ADDITIONAL EXPENSES TO THE OWNER. IF UTILITY LINES ARE ENCOUNTERED DURING EXCAVATION OF TREE PITS, OTHER LOCATIONS FOR PITS SHALL BE MADE BY THE CONTRACTOR WITHOUT ADDITIONAL COMPENSATION. NO TREE PIT LOCATION CHANGES SHALL BE MADE WITHOUT THE APPROVAL OF THE OWNER OR LANDSCAPE ARCHITECT.
2. PLACEMENT OF ALL EQUIPMENT AND TOOLS SHALL AVOID INTERFERENCE OR HINDRANCE TO THE PEDESTRIAN AND VEHICULAR TRAFFIC FLOWS.
3. THE CONTRACTOR SHALL ENSURE THAT HIS WORK DOES NOT INTERRUPT ESTABLISHED OR PROJECTED DRAINAGE PATTERNS.
4. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL RUBBISH, TRASH, DEBRIS, AND ORGANIC MATERIAL IN A LAWFUL MANNER. THE CONTRACTOR SHALL DISPOSE OF STUMPS AND MAJOR ROOTS OF ALL PLANTS TO BE REMOVED. ANY DEPRESSIONS CAUSED BY REMOVAL OPERATIONS SHALL BE REFILLED WITH FERTILE, FRABLE SOIL PLACED AND COMPACTED SO AS TO REESTABLISH PROPER GRADE FOR NEW PLANTING AND/OR LAWN AREAS.
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PLANTING SOIL AND SOD PREPARATION NOTES

1. PLANTING SOIL MIX SHALL BE PREPARED AT APPROVED ON-SITE STAGING AREA USING APPROVED ON-SITE EXISTING SOIL. THE CONTRACTOR SHALL MIX TOPSOIL WITH EXISTING SURFACE SOILS TO PREVENT LAYERING. BLEND BACKFILL MIX THOROUGHLY AND UNIFORMLY. SMOOTH SURFACE WITH NO HIGH OR LOW SPOTS. CLEAR SOIL OF ROCKS, DEBRIS, AND DIRT CLODS GREATER THAN 2" IN DIAMETER.
- A. EXISTING SOIL IN BED AREAS SHALL BE AMENDED. MIX MINIMUM QUANTITIES OF 20 CUBIC YARDS INCREMENTS OR MIX SUFFICIENT QUANTITY FOR ENTIRE JOB IF LESS THAN 20 CUBIC YARDS IS REQUIRED.
- B. THOROUGHLY MIX IN THE FOLLOWING PROPORTIONS FOR TREE AND SHRUB PLANTING: 0.5 CY EXISTING SOIL; 0.2 CY SHARP SAND; 0.3 CY WOOD RESIDUALS; 4.5 LBS TREBLE SUPERPHOSPHATE; 5.0 LBS DOLOMITE LESTONE (ELIMINATE FOR ACID-LOVING PLANTS)
- C. FOR BED PLANTING, SHRUBS AND GROUNDCOVER SPACES 24 INCHES OR CLOSER, INCORPORATE THE FOLLOWING INGREDIENTS PER 20 SF AND INCORPORATE INTO TOP 8 INCHES OF EXISTING SOILS BY ROTOTILLING OR SIMILAR METHOD OF INCORPORATION: 0.2 CY SHARP SAND; 0.3 CY ORGANIC MATERIAL; 4.5 LBS TREBLE SUPERPHOSPHATE; 5.0 LBS DOLOMITE LESTONE (ELIMINATE FOR ACID-LOVING PLANTS)
2. HARVEST AND HANDLE SOD ACCORDING TO THE REQUIREMENTS OF THE TURFGRASS PRODUCERS INTERNATIONAL "GUIDELINE SPECIFICATIONS TO TURFGRASS SODDING" AND THE ADDITIONAL REQUIREMENTS NOTED HEREIN. THE CONTRACTOR SHALL ENGAGE AN EXPERIENCED SODDING COMPANY WHICH HAS COMPLETED SODDING WORK SIMILAR IN SIZE AND INTENT TO THAT INDICATED FOR THIS PROJECT AND WITH A RECORD OF SUCCESSFUL SOD ESTABLISHMENT. THE CONTRACTOR SHALL MAINTAIN AN EXPERIENCED FULL-TIME SUPERVISOR AT THE PROJECT SITE DURING TIMES WHEN SODDING WORK IS IN PROGRESS. SODDED LAWNS WILL BE ACCEPTABLE PROVIDED THE SOD GROWERS REQUIREMENTS, INCLUDING MAINTENANCE, HAVE BEEN MET, AND A HEALTHY, WELL-ROOTED, EVEN-COLORED, AND UNIFORM STAND OF GRASS IS ESTABLISHED. THE GRASS WILL BE FREE OF WEEDS, OPEN JOINTS, BARE AREAS, AND SURFACE IRREGULARITIES.
3. SOD SHALL BE OF GOOD HEALTH AND CONDITION AT THE TIME OF INSPECTION.
4. SOD SHALL BE INSTALLED NO LATER THAN 24 HOURS AFTER STRIPPING.
5. FINISH GRADE PREPARATION FOR SOD WILL BE TOP-DRESSED WITH TOP SOIL AND SHALL BE FREE OF TRASH, DEBRIS, CONSTRUCTION MATERIAL AND LARGE STONE.
6. SOD SHALL FOLLOW MAINTENANCE WATERING SCHEDULE SPECIFIED IN THE MAINTENANCE AGREEMENT UNTIL FULLY ESTABLISHED. SOD SHALL BE MAINTAINED UNTIL FINAL COUNTY APPROVAL. DEAD OR DYING SOD WILL BE REQUIRED TO BE REMOVED AND REPLACED PRIOR TO INITIAL INSPECTION BY LANDSCAPE ARCHITECT.
7. LANDSCAPE BED EDGES BETWEEN SOD AND MULCH SHALL BE CUT TO FOLLOW LAYOUT AS SHOWN ON PLANS.

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3. SOD SHALL BE OF GOOD HEALTH AND CONDITION AT THE TIME OF INSPECTION.
4. SOD SHALL BE INSTALLED NO LATER THAN 24 HOURS AFTER STRIPPING.
5. FINISH GRADE PREPARATION FOR SOD WILL BE TOP-DRESSED WITH TOP SOIL AND SHALL BE FREE OF TRASH, DEBRIS, CONSTRUCTION MATERIAL AND LARGE STONE.
6. SOD SHALL FOLLOW MAINTENANCE WATERING SCHEDULE SPECIFIED IN THE MAINTENANCE AGREEMENT UNTIL FULLY ESTABLISHED. SOD SHALL BE MAINTAINED UNTIL FINAL COUNTY APPROVAL. DEAD OR DYING SOD WILL BE REQUIRED TO BE REMOVED AND REPLACED PRIOR TO INITIAL INSPECTION BY LANDSCAPE ARCHITECT.
7. LANDSCAPE BED EDGES BETWEEN SOD AND MULCH SHALL BE CUT TO FOLLOW LAYOUT AS SHOWN ON PLANS.

MAINTENANCE AGREEMENT

TWO YEAR MAINTENANCE AGREEMENT

ALL PLANTS SHALL BE GUARANTEED TO REMAIN ALIVE AND HEALTHY FOR A PERIOD OF TWO FULL YEARS AFTER INITIAL ACCEPTANCE. ANY REPLACEMENT PLANTS, REQUIREMENTS, ETC. AND METHOD OF PLACING SHALL COMPLY WITH THE REQUIREMENTS SPECIFIED HEREIN AND ON THE DRAWINGS.

THE COMPANY RESPONSIBLE FOR TREE CARE: THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE AND TREE CARE FOR A PERIOD OF ONE YEAR. SERVICES SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:

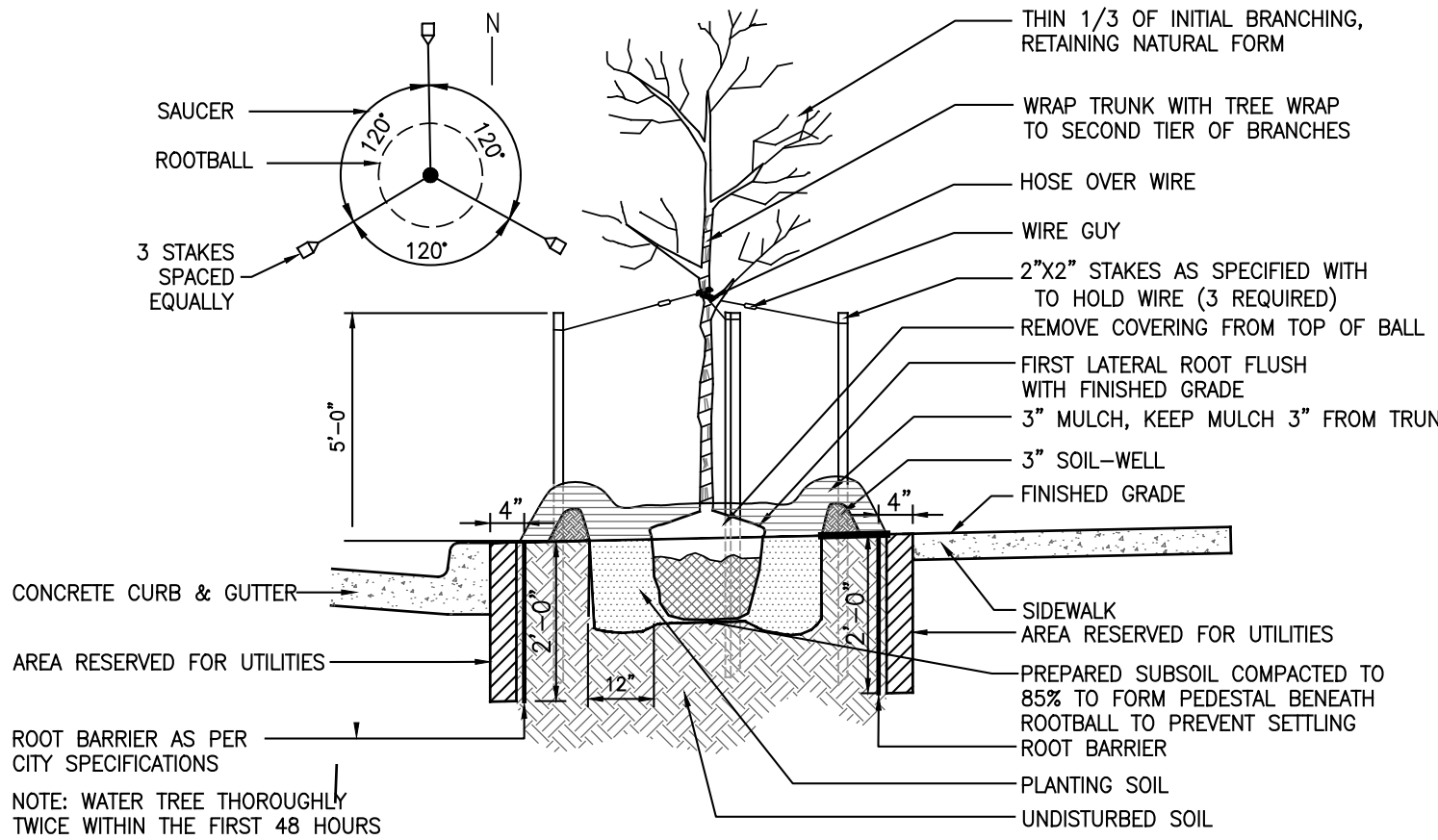
- A. WATERING
- WATERING SHALL BE PROVIDED DURING THE GROWING SEASON AS REQUIRED.
  - FIRST GROWING SEASON: ONCE PER WEEK
  - SECOND GROWING SEASON: AS NEEDED, BUT NOT LESS THAN ONCE PER MONTH DURING JULY AND AUGUST.
- B. REINFORCEMENT PLANTING PROVISIONS
- A MINIMUM OF 100% OF THE TOTAL NUMBER OF TREES PLANTED PER ACRE IS REQUIRED TO SURVIVE AT THE END OF THE YEAR MAINTENANCE PERIOD.
- C. PROTECTION FROM DISEASE AND INJURY
- PERIODIC INSPECTION SHALL BE MADE FOR ANY EVIDENCE OF DISEASE OR DAMAGE.

MINIMUM LANDSCAPE MAINTENANCE REQUIREMENTS

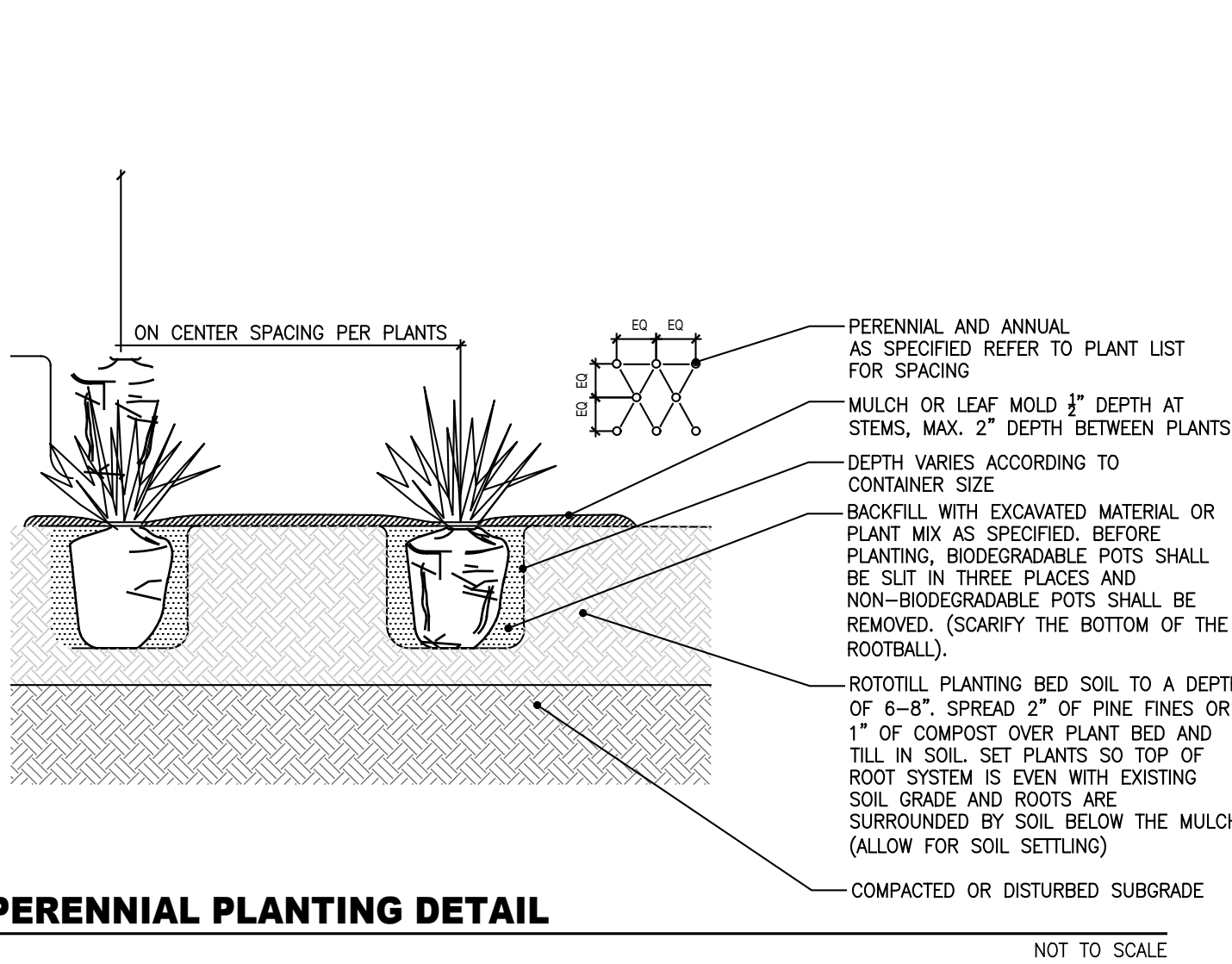
1. LAWN AREAS SHALL BE MOWED TO A HEIGHT OF 2 TO 3 INCHES AND NOT BE ALLOWED TO REACH A HEIGHT OF 4 INCHES BEFORE MOWING.
2. ALL CURBS AND WALKS SHALL BE EDGED AS NEEDED.
3. ALL LAWN AREAS ADJACENT TO BUILDING FACES OR STRUCTURES SHALL BE TRIMMED.
4. A SLOW-RELEASE NITROGEN-BASED FERTILIZER WITH A 2-1-1 RATIO SHALL BE APPLIED AT A RATE OF 2 POUNDS OF NITROGEN PER 1000 SQUARE FEET IN SEPTEMBER, OCTOBER, AND FEBRUARY.
5. LIME SHALL BE APPLIED AT THE RATE DETERMINED BY THE SOILS REPORT.
6. PRE-EMERGENT HERBICIDE (BETASAN OR EQUAL) IS RECOMMENDED TO BE APPLIED TO LAWN AREAS IN MID-MARCH TO EARLY APRIL AT THE MANUFACTURER'S RECOMMENDED RATE.
7. A POST-EMERGENT HERBICIDE (TRIMEC OR EQUAL) IS RECOMMENDED TO BE SPRAYED ON LAWN AREAS IN THE LATE SPRING OR EARLY FALL AT THE MANUFACTURER'S RECOMMENDED RATE.
8. INSECTICIDES AND FUNGICIDES ARE RECOMMENDED FOR INSECT AND DISEASE CONTROL.
9. RESEED BARE AREAS OF LAWN AS NECESSARY. YEARLY AERATION IS RECOMMENDED.
10. ALL TRASH, LITTER, AND DEBRIS SHALL BE REMOVED FROM LAWN AREAS, PARKING LOTS, AND SHRUB BEDS AS NEEDED.
11. MULCH ALL SHRUB AND GROUNDCOVER BEDS YEARLY WITH SHREDDED HARDWOOD BARK TO MAINTAIN A DEPTH OF 3".
12. PERMIT SHRUBS AND TREES TO GROW AND ENLARGE TO THEIR DESIGN SIZE. CONSULT THE PROJECT LANDSCAPE ARCHITECT FOR DETAILS.
13. PRUNE TREES IN ACCORDANCE WITH LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE-WASHINGTON METROPOLITAN AREAS.

ROOT BARRIER NOTES

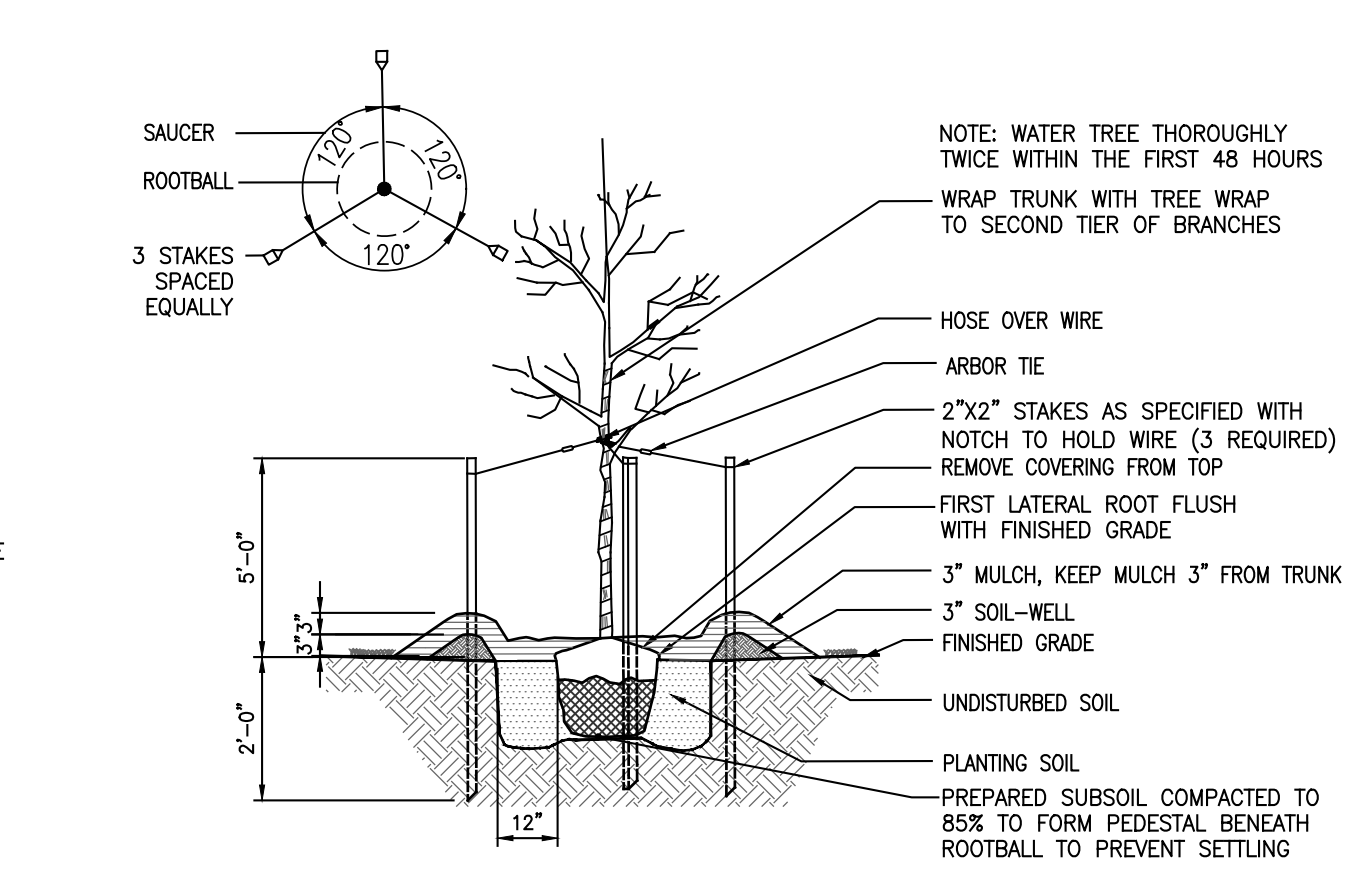
1. ALL STREET TREES SHALL INCORPORATE ROOT BARRIERS PER DPW DETAIL G-5A.
2. PROVIDE ROOT BARRIER ALONG NEAR EDGE OF SIDEWALK / UTILITY INSTALLATION. PROVIDE ROOT BARRIER ALONG NEAR EDGE OF SIDEWALK TO POINT 5' ON EITHER SIDE OF TREE. USE 10 MIL PLASTIC SHEETING TO 12" DEPTH OR AN EQUIVALENT APPROVED BARRIER.



DECIDUOUS TREE WITHIN PUBLIC RIGHT OF WAY DETAIL

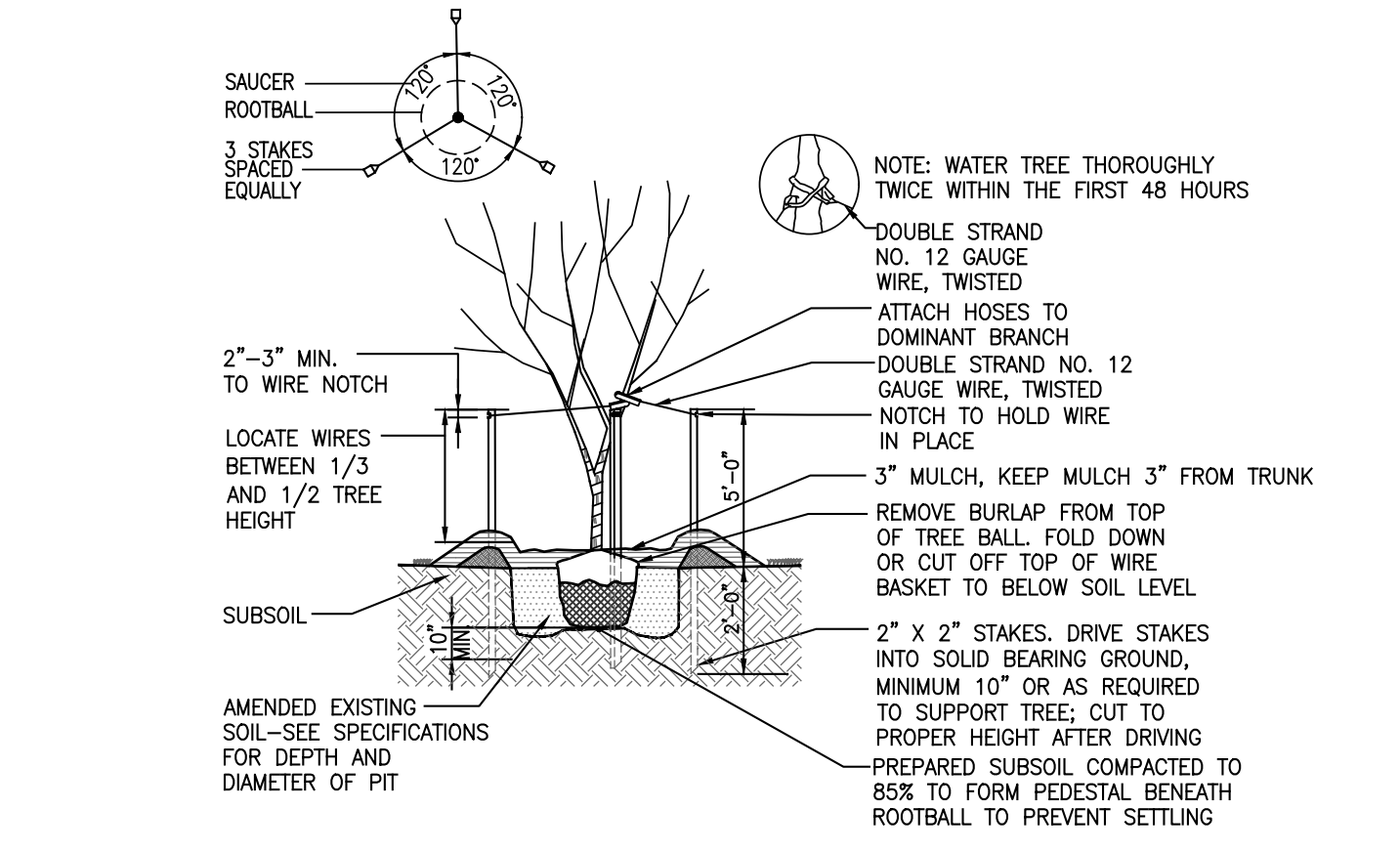


PERENNIAL PLANTING DETAIL



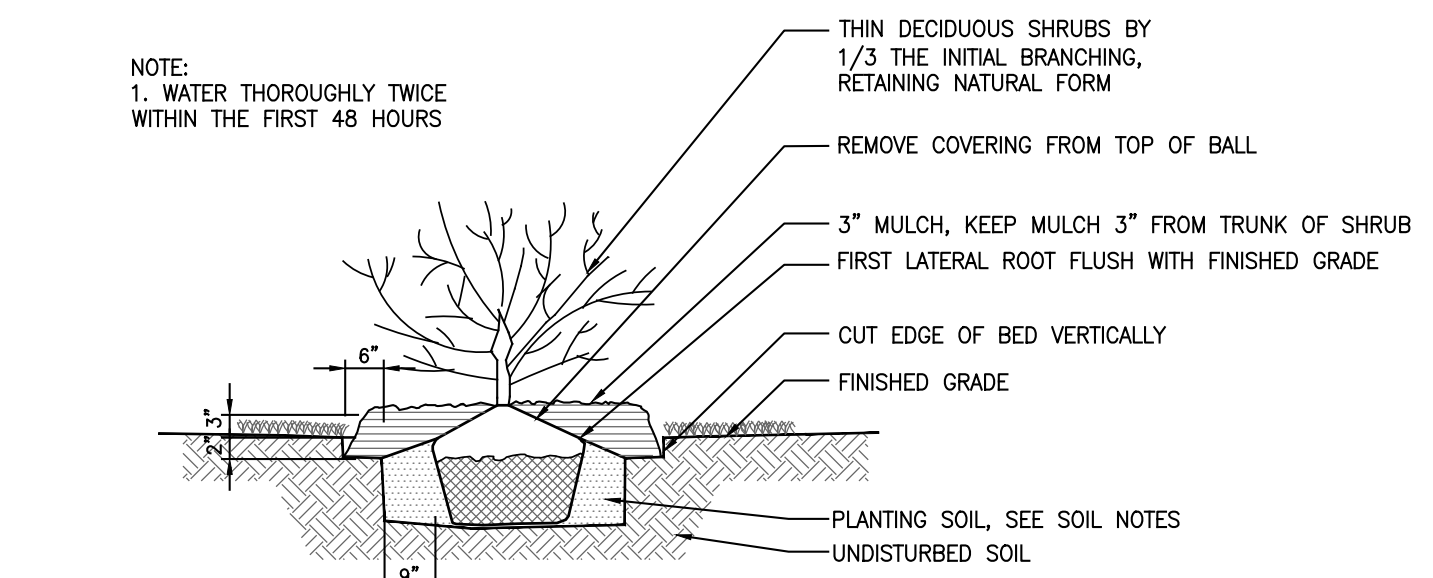
DECIDUOUS TREE DETAIL

NOT TO SCALE



MINOR DECIDUOUS TREE DETAIL

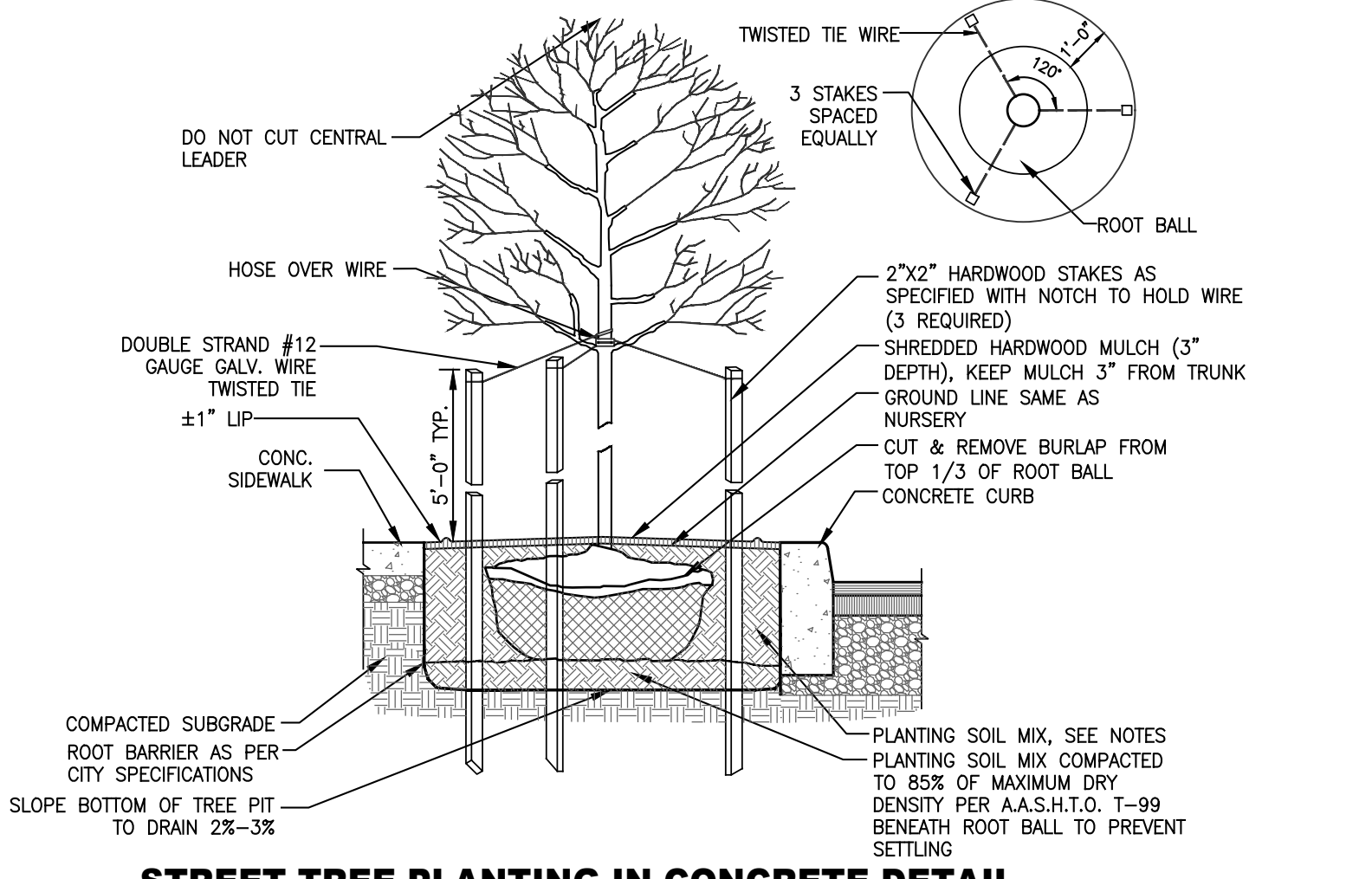
NOT TO SCALE



SHRUB DETAIL

NOT TO SCALE

- NOTES
1. WATER THOROUGHLY TWICE WITHIN THE FIRST 48 HOURS
2. PROVIDE ROOT BARRIER ALONG NEAR EDGE OF SIDEWALK / UTILITY INSTALLATION. PROVIDE ROOT BARRIER ALONG NEAR EDGE OF SIDEWALK TO POINT 5' ON EITHER SIDE OF TREE. USE 10 MIL PLASTIC SHEETING TO 12" DEPTH OR AN EQUIVALENT APPROVED BARRIER.



STREET TREE PLANTING IN CONCRETE DETAIL

NOT TO SCALE

BCNR-11857  
ePLANS:



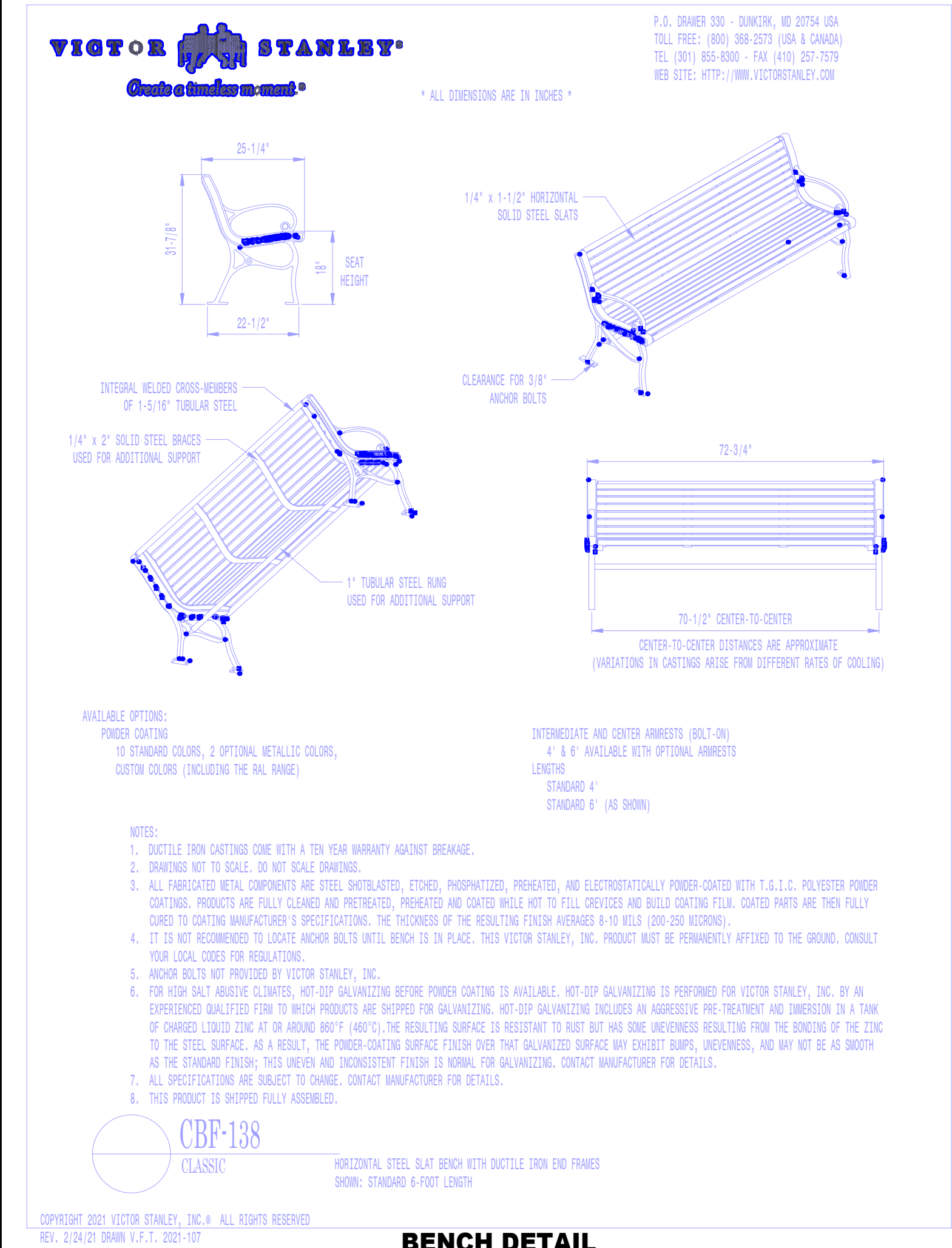
PROFESSIONAL CERTIFICATION:  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 4428, EXPIRATION DATE: 10/21/2027.

**MORRIS & RITCHIE ASSOCIATES, INC.**  
ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS  
1220-B EAST JOPPA ROAD, SUITE 400K  
TOWSON, MD 21286  
410-821-1690  
FAX: 410-821-1748  
MRA@GTA.COM  
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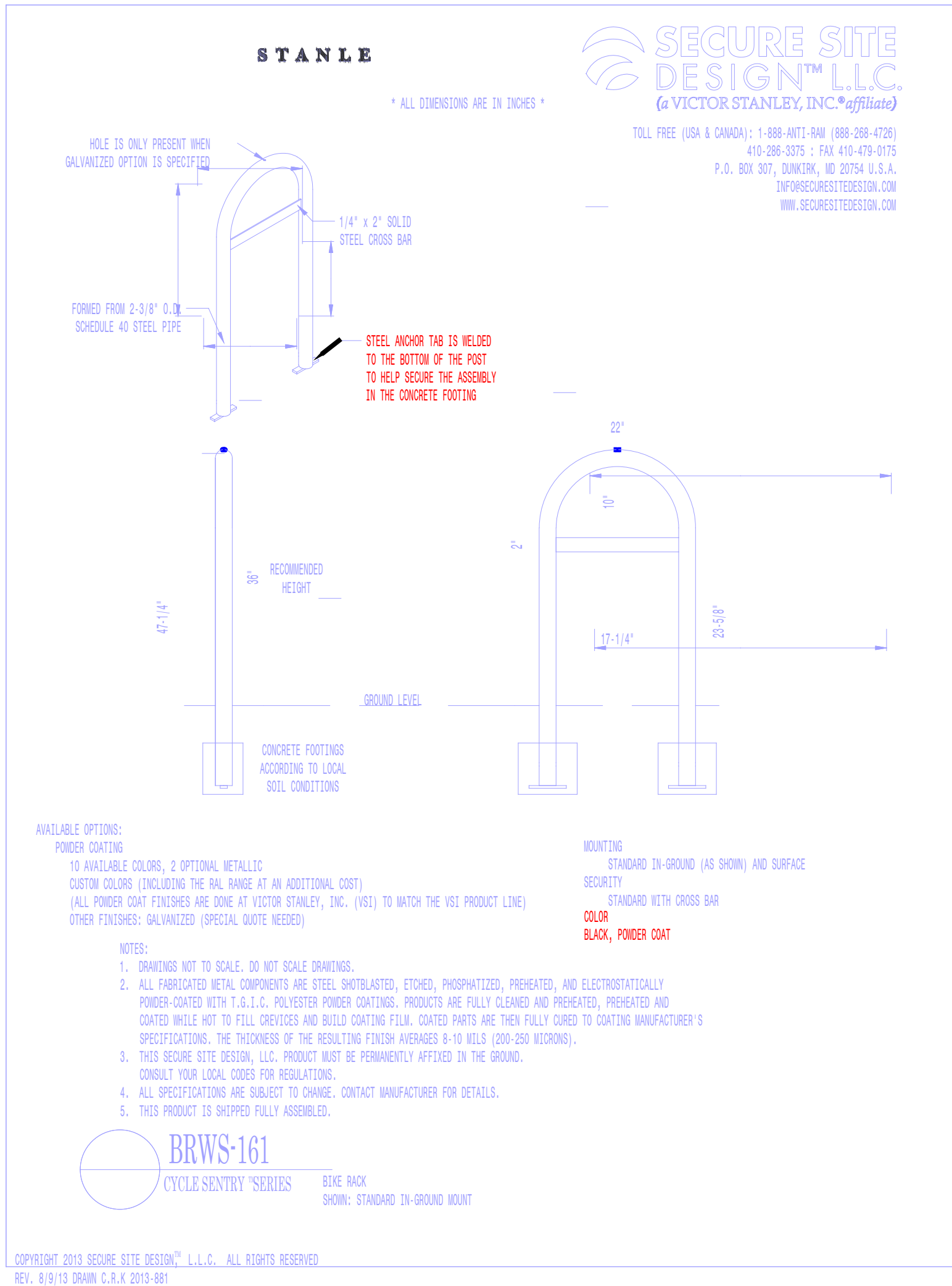
**PARCEL C AT RESERVOIR SQUARE**  
700 W NORTH AVENUE  
**PRELIMINARY DEVELOPMENT PLAN**

LANDSCAPE NOTES & DETAILS - 1			
BALTIMORE CITY, MD 21217 WARD: 13 - SECTION: 113 BLOCK: 3434 - LOT: 13			
DATE	REVISION	JOB NO.:	20140x06
		SCALE:	AS SHOWN
		DATE:	11/10/2025
		DRAWN BY:	TJZL/JCZ
		DESIGN BY:	ZWB/TJZ
		REVIEW BY:	ZWB
		SHEET:	11 OF 15

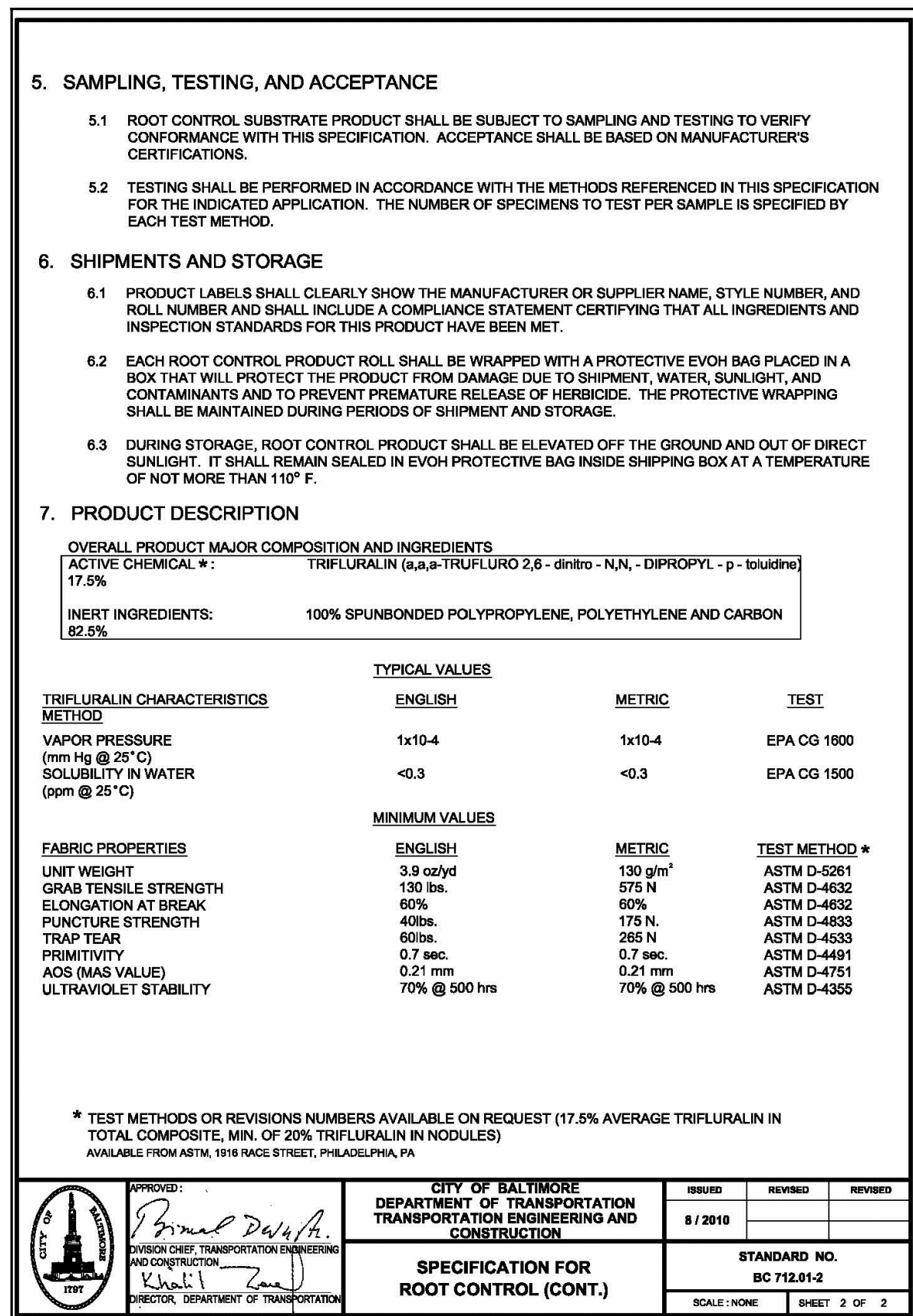




**BENCH DETAIL**  
NOT TO SCALE

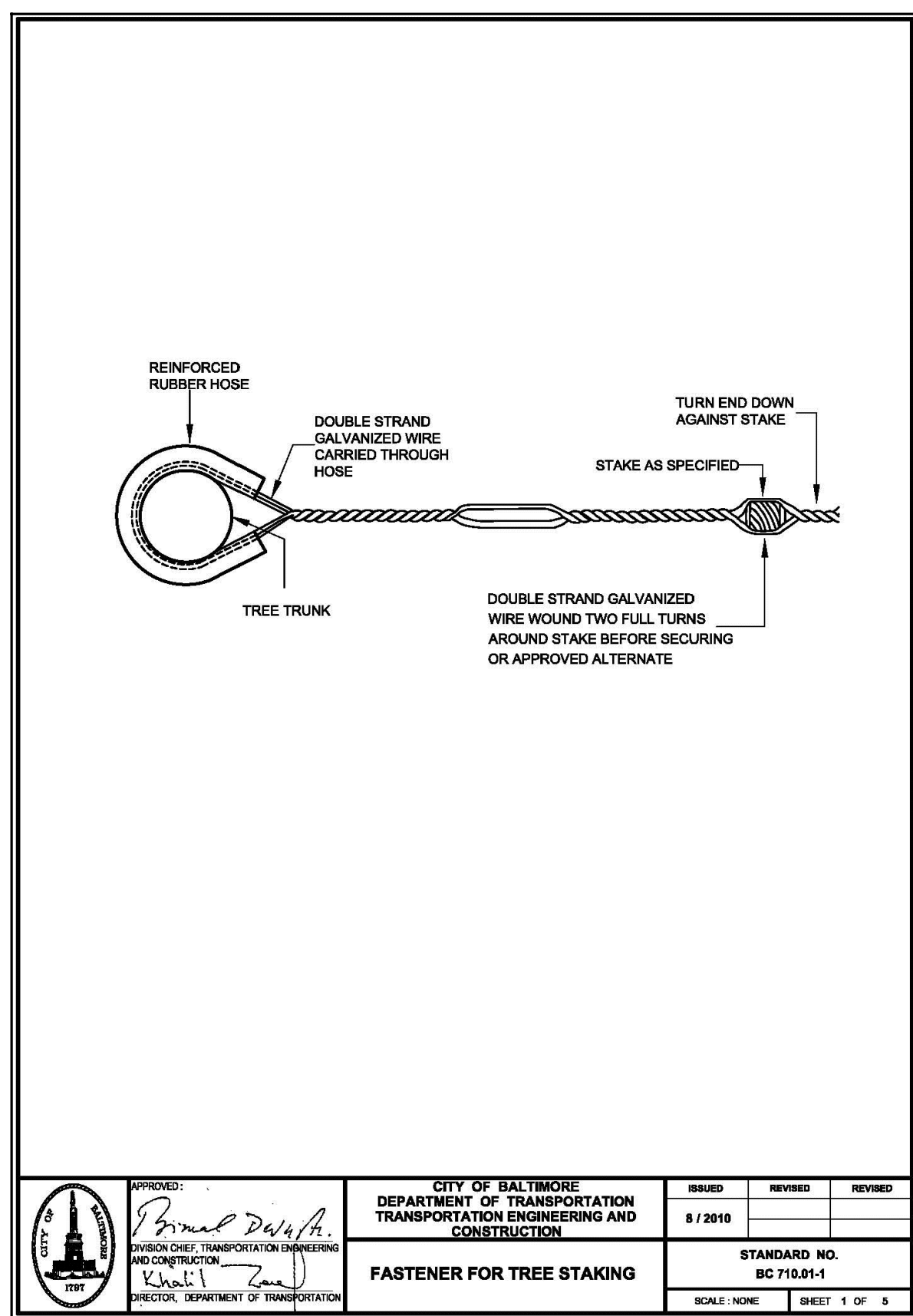


**INVERTED-U BIKE RACK DETAIL**  
NOT TO SCALE



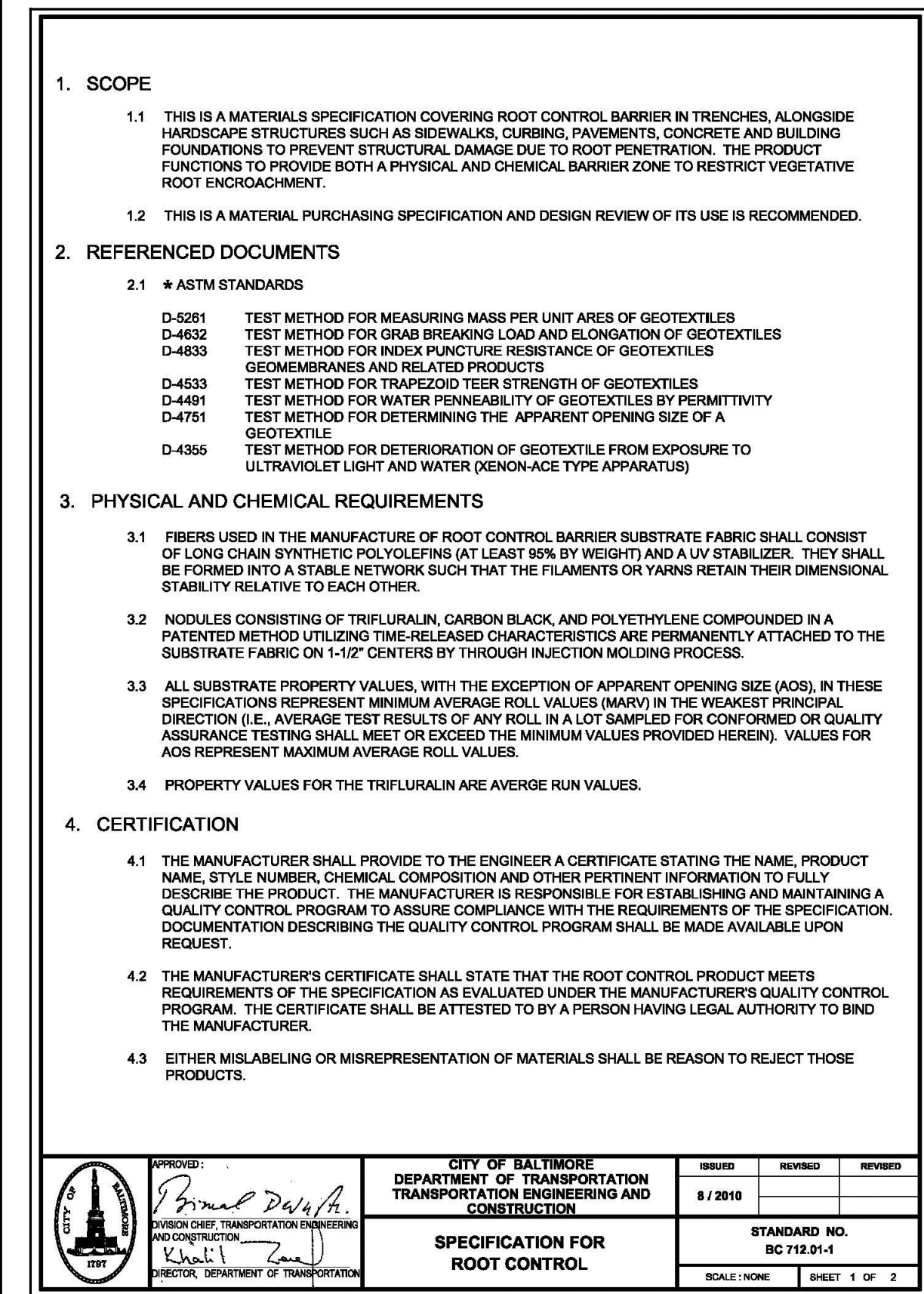
**ROOT CONTROL SPECIFICATION CONT.**

NOT TO SCALE



**FASTENER FOR TREE STAKING DETAIL**

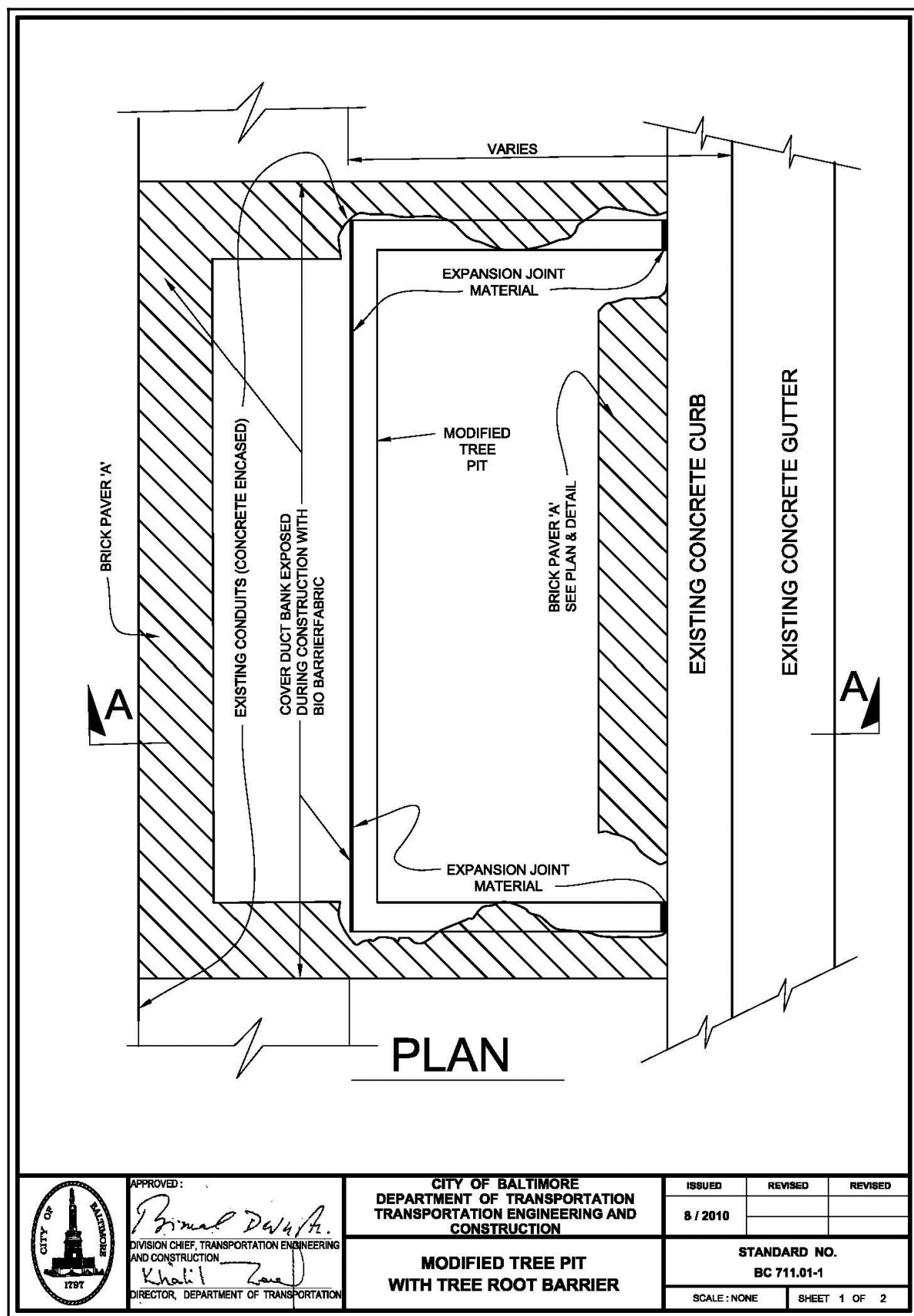
NOT TO SCALE



**ROOT CONTROL SPECIFICATION**  
NOT TO SCALE

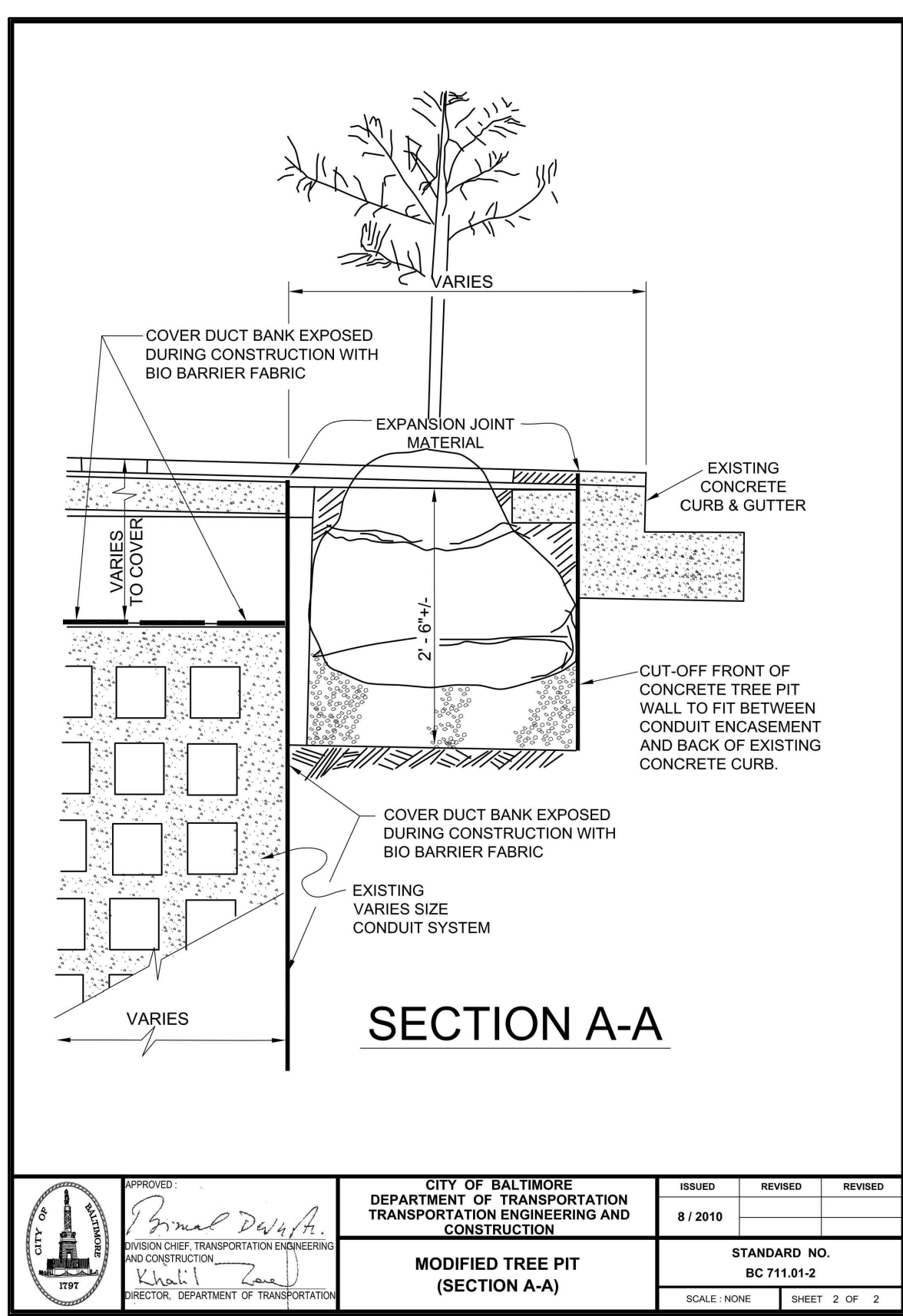
**GENERAL NOTE**

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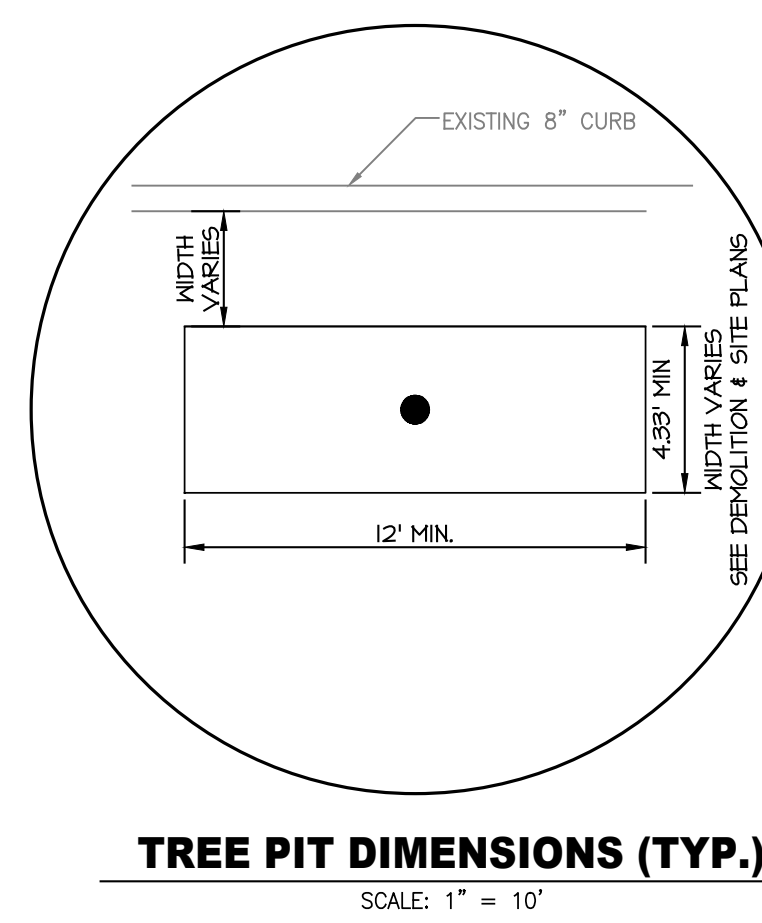
**TREE PIT WITH ROOT BARRIER DETAIL**

NOT TO SCALE



**TREE PIT WITH ROOT BARRIER SECTION A-A**

NOT TO SCALE



Know what's below.  
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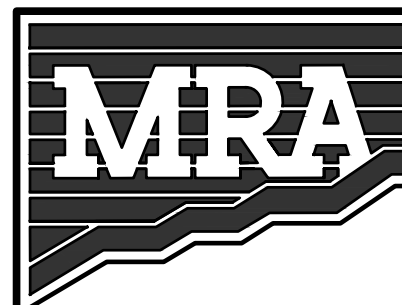
**OWNER/DEVELOPER**

RESERVOIR SQUARE PARCEL C LLC  
1 SOUTH STREET, SUITE 2800  
BALTIMORE, MD 21202  
ATTN: DAVID POLONSKY  
PHONE: 410-547-7159  
EMAIL: DPOLONSKY@ATAPCO.COM

**DATUM**

DESIGN & DRAWING BASED ON BALTIMORE COUNTY METROPOLITAN DISTRICT SYSTEM (BCMD):  
HORIZONTAL: BCMD  
VERTICAL: BCD

BCNR-11857  
ePLANS:



PROFESSIONAL CERTIFICATION:  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 4428, EXPIRATION DATE: 10/21/2027.

**MORRIS & RITCHIE ASSOCIATES, INC.**

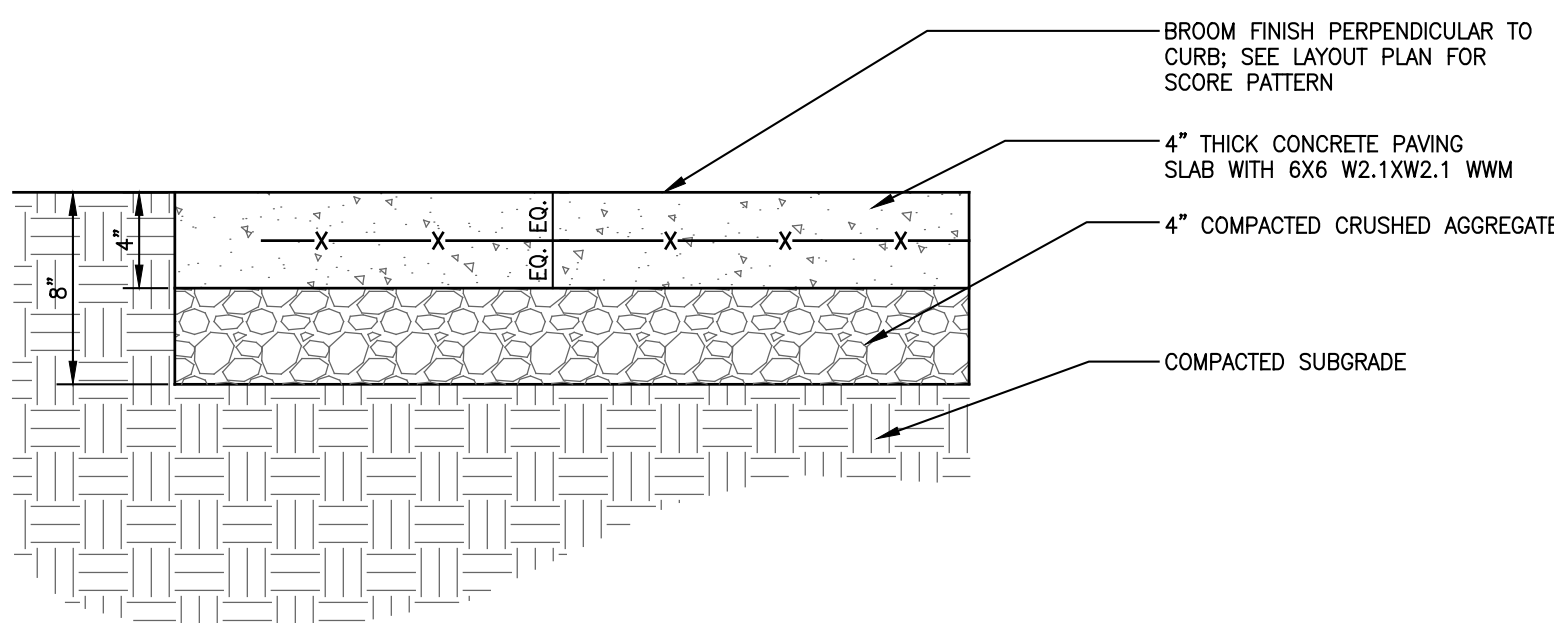
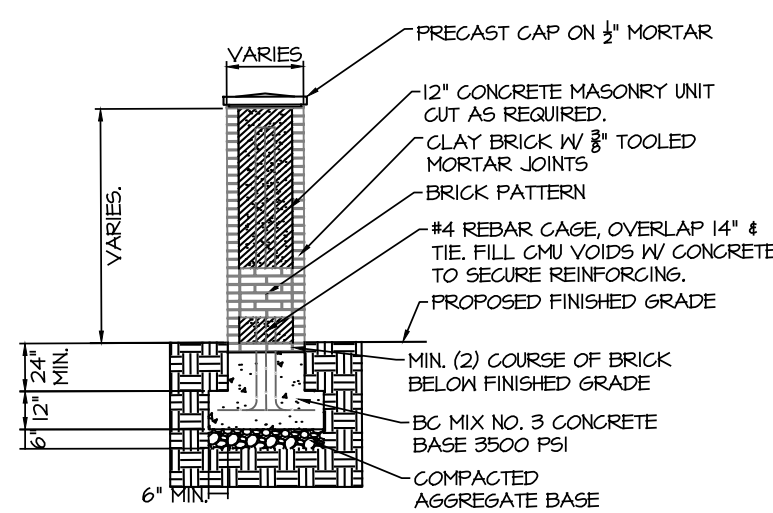
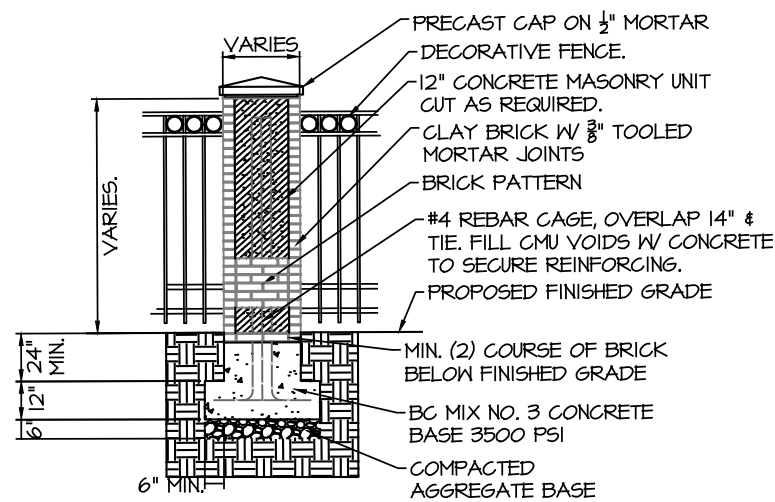
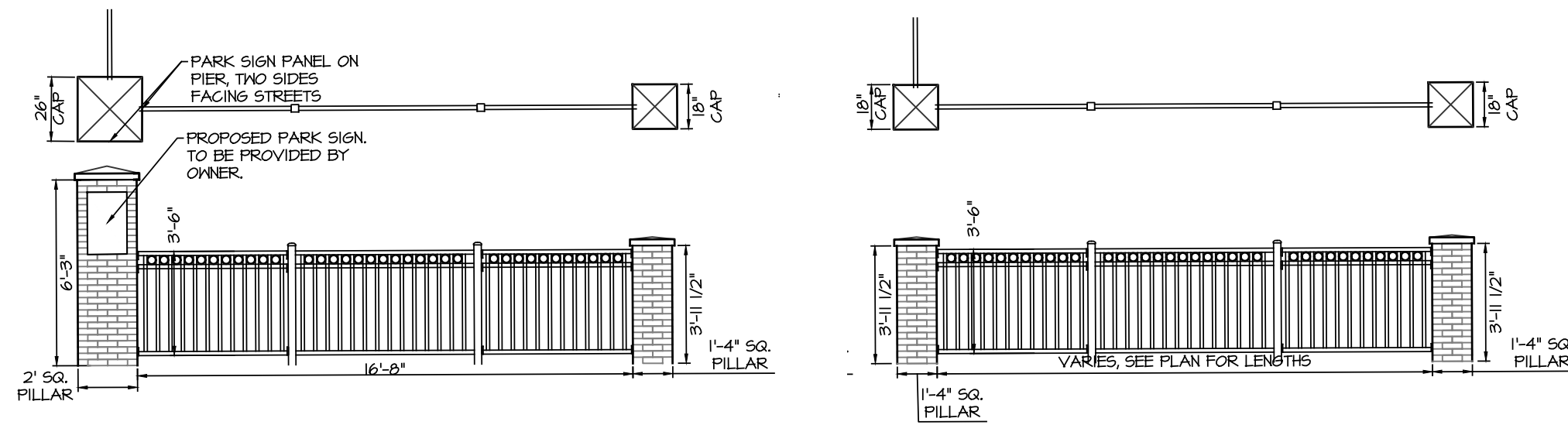
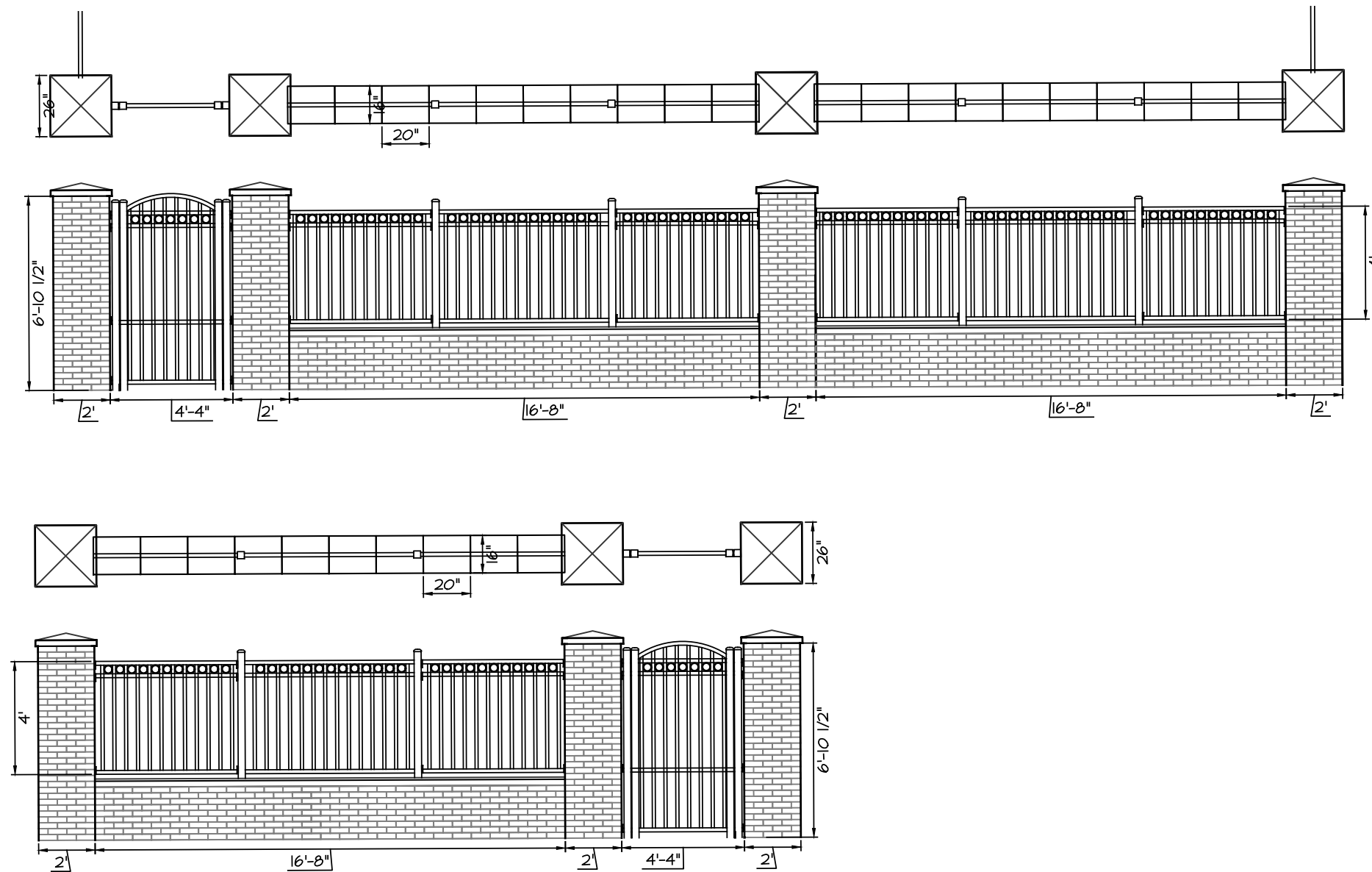
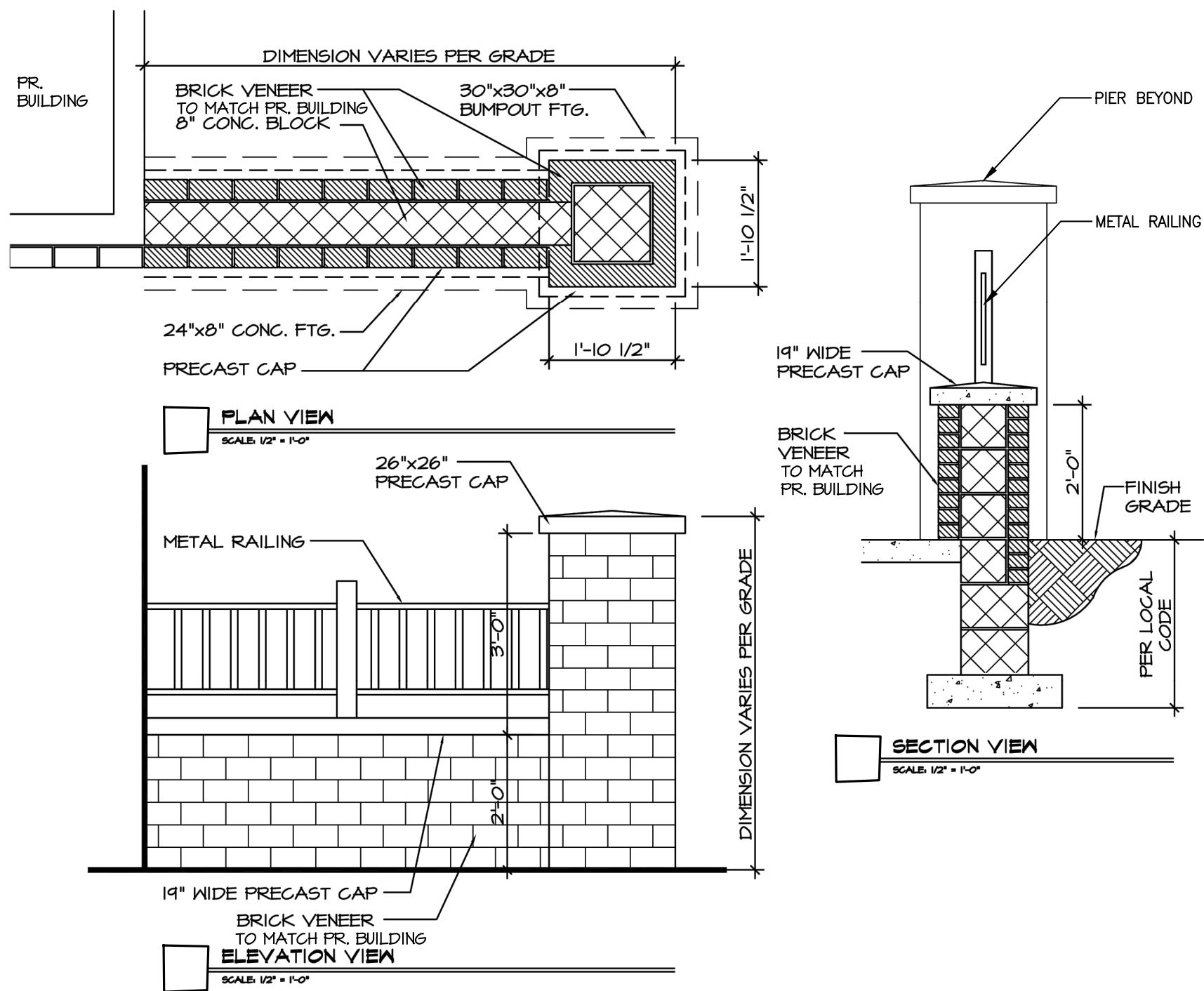
ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS  
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TOWSON, MD 21286  
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**PARCEL C AT RESERVOIR SQUARE**  
700 W NORTH AVENUE  
**PRELIMINARY DEVELOPMENT PLAN**

LANDSCAPE NOTES & DETAILS - 2

DATE	REVISION	JOB NO.:
		20140x06
		SCALE: AS SHOWN
		DATE: 11/10/2025
		DRAWN BY: TJZ/LJC
		DESIGN BY: ZWB/TJZ
		REVIEW BY: ZWB
		SHEET: 12 OF 15





**GENERAL NOTE**

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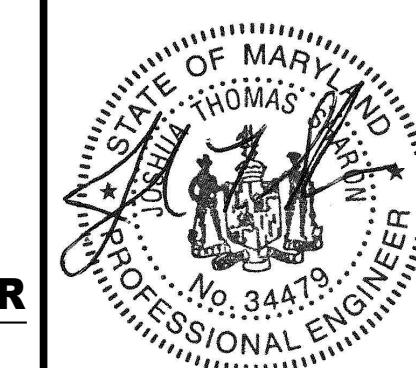
**OWNER/DEVELOPER**

RESERVOIR SQUARE PARCEL C LLC  
1 SOUTH STREET, SUITE 2800  
BALTIMORE, MD 21202  
ATTN: DAVID POLONSKY  
PHONE: 410-347-7189  
EMAIL: DPOLONSKY@ATAPCO.COM

**DATUM**

DESIGN & DRAWING BASED ON  
BALTIMORE COUNTY METROPOLITAN  
DISTRICT SYSTEM (BCMD):  
HORIZONTAL: BCMD  
VERTICAL: BCD

BCNR-11857  
ePLANS:



PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 34479. EXPIRATION DATE: 06/21/2028.

**MORRIS & RITCHIE ASSOCIATES, INC.**  
ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS  
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**PARCEL C AT RESERVOIR SQUARE  
700 W NORTH AVENUE  
PRELIMINARY DEVELOPMENT PLAN**

SITE DETAILS - 1

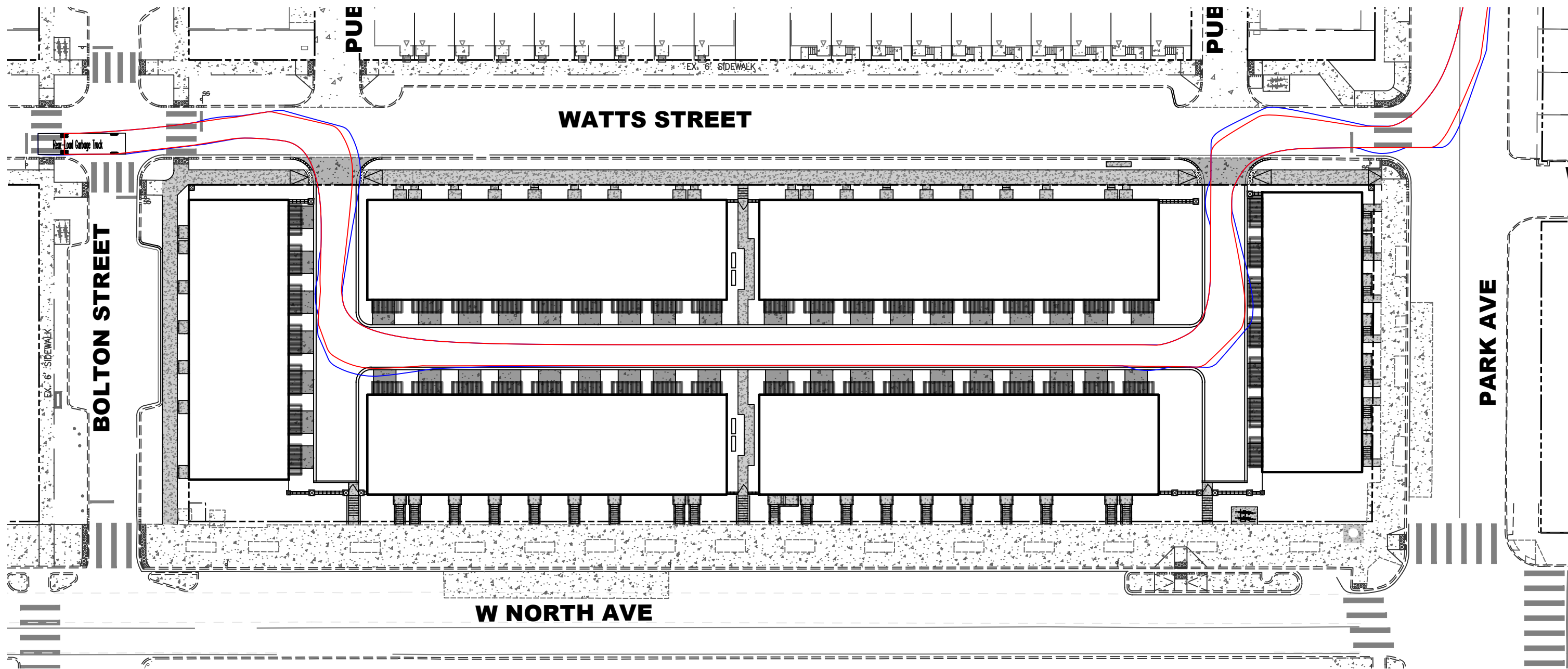
BALTIMORE CITY, MD 21217  
WARD: 13 - SECTION: 110  
BLOCK: 3434 - LOT: 13

DATE	REVISION	JOB NO.:	20140x06
		SCALE:	AS SHOWN
		DATE:	11/10/2025
		DRAWN BY:	DJK/JHK/ZWB
		DESIGN BY:	DJK/JHK/ZWB
		REVIEW BY:	JTS
		SHEET:	13 OF 15

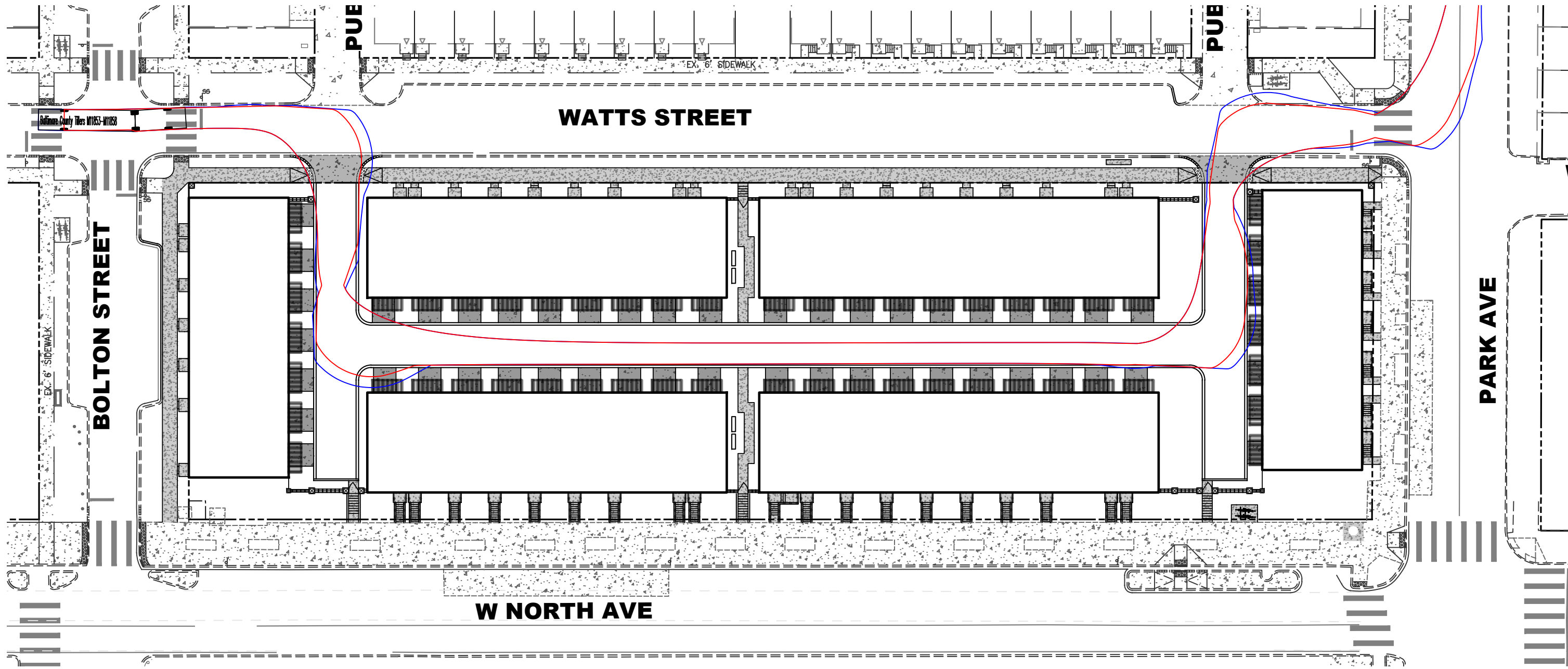
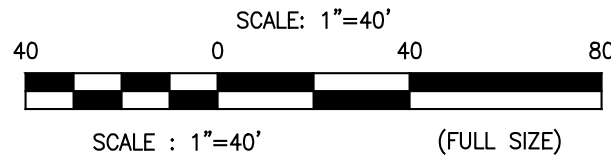




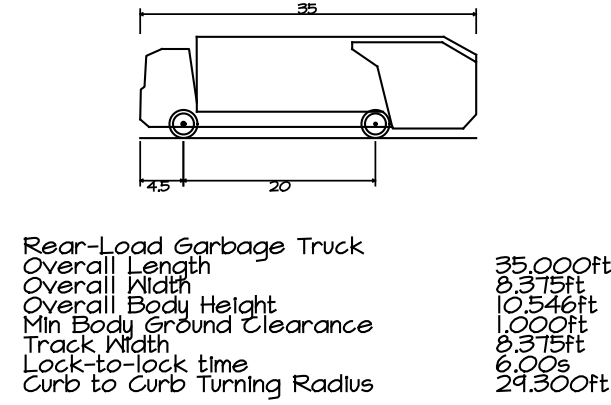
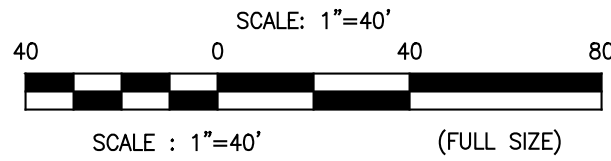




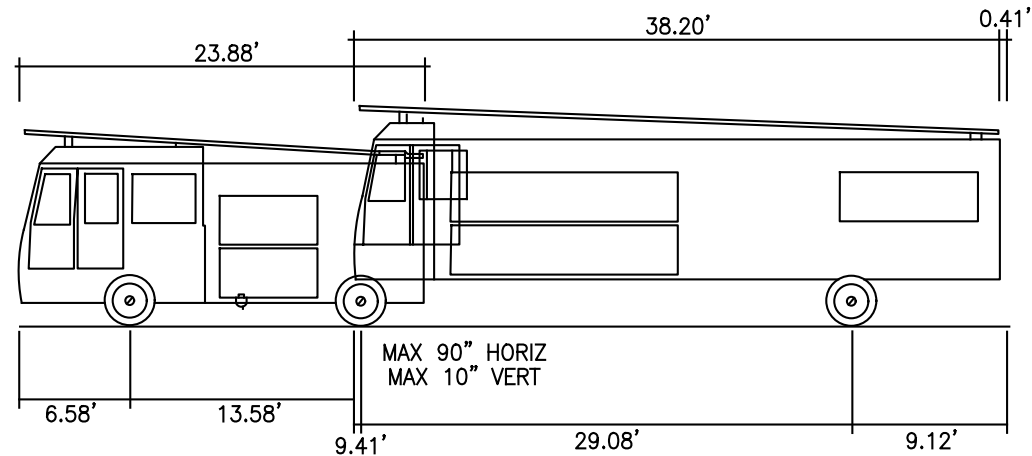
REAR-LOAD GARBAGE TRUCK PLAN



FIRE TRUCK PLAN

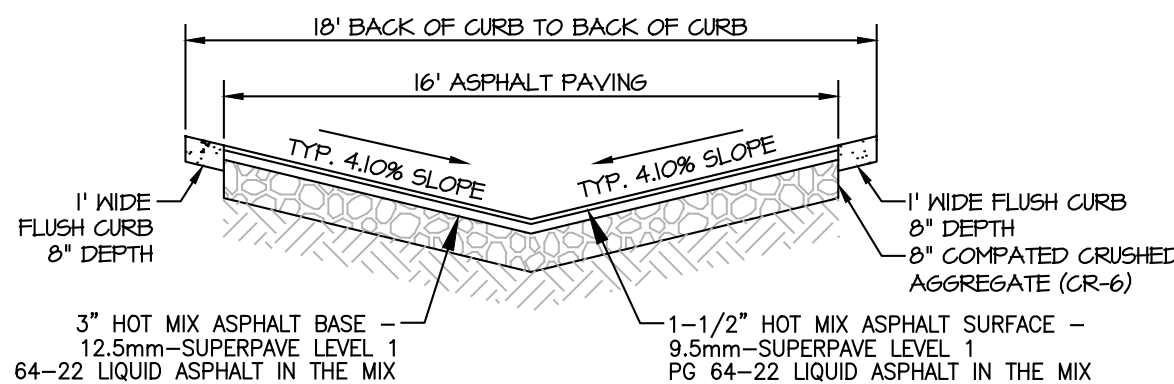


REAR-LOAD GARBAGE TRUCK PROFILE



BALTIMORE COUNTY AERIAL TILLER - 58 FT  
OVERALL LENGTH = 58.36 FT  
OVERALL WIDTH = 12.954 FT  
MIN BODY GROUND CLEARANCE = 1.335 FT  
TRACK WIDTH = 8 FT  
LOCK-TO-LOCK TIME = 6 SECONDS  
MAX-WHEEL ANGLE = 45 DEGREES

FIRE TRUCK PROFILE



PRIVATE ASPHALT ALLEY DETAIL

SCALE: 1"=5'



Know what's below.  
Call before you dig.

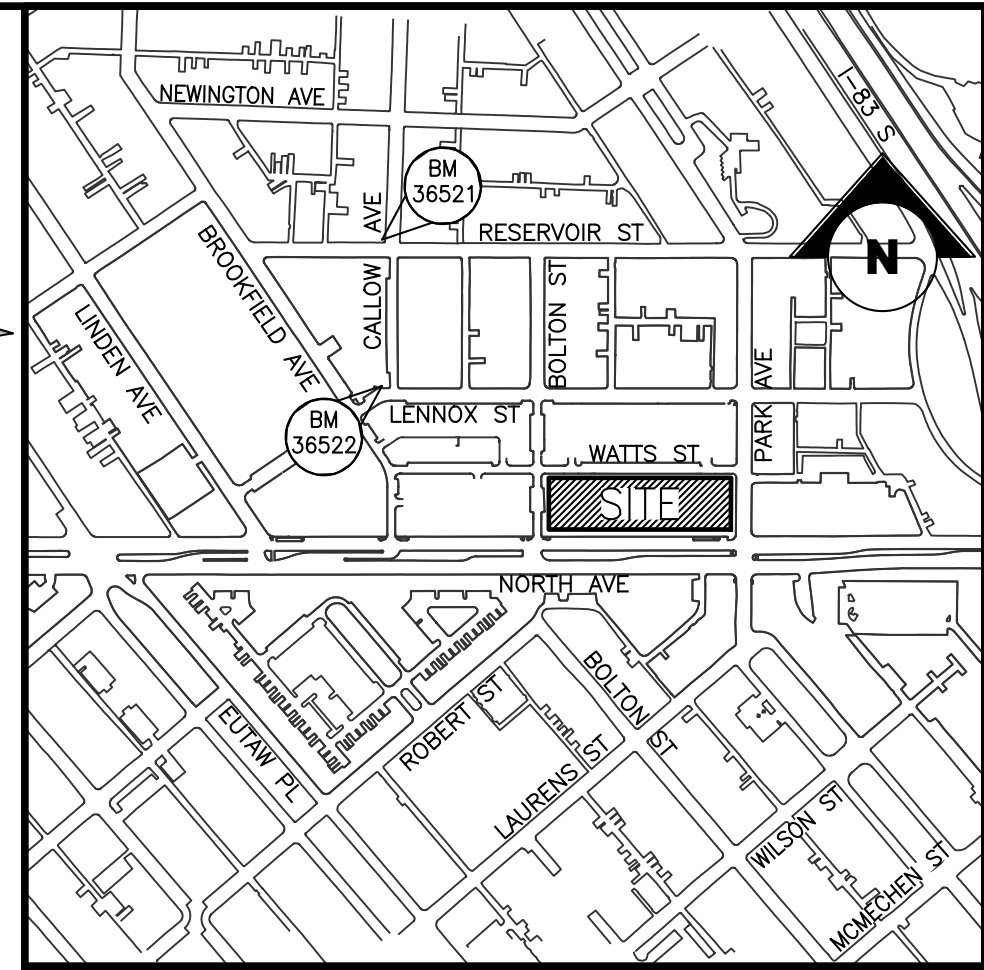
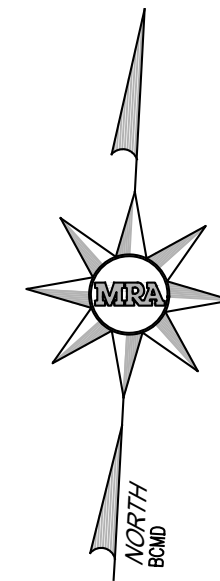
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OWNER/DEVELOPER

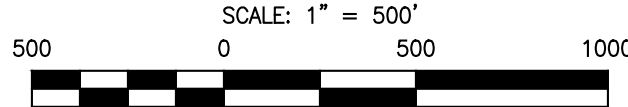
RESERVOIR SQUARE PARCEL C LLC  
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BALTIMORE, MD 21202  
ATTN: DAVID POLONSKY  
PHONE: 410-347-7189  
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DATUM

DESIGN & DRAWING BASED ON  
BALTIMORE COUNTY METROPOLITAN  
DISTRICT SYSTEM (BCMD):  
HORIZONTAL: BCMD  
VERTICAL: BCD



VICINITY MAP



BENCHMARKS

BALTIMORE CITY SURVEY CONTROL STATION RECORD

#36521 N 5,551.49  
ELEV. 199.11 W 4,468.60  
DESCRIPTION: NAIL IN THE CONCRETE WALK ON THE CORNER  
OF CALLOW AVENUE AND RESERVOIR STREET.  
#36522 N 5,171.63  
ELEV. 179.98 E 4,447.83  
DESCRIPTION: NAIL IN THE CONCRETE WALK ON THE CORNER  
OF CALLOW AVENUE AND LENNOX STREET..

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BCNR-11857  
ePLANS:

SHEET

C-15



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PARCEL C AT RESERVOIR SQUARE  
700 W NORTH AVENUE  
PRELIMINARY DEVELOPMENT PLAN

TURNING MOVEMENT EXHIBIT

BALTIMORE CITY, MD 21217  
WARD: 13 - SECTION: 110  
BLOCK: 3434 - LOT: 13

DATE	REVISION	JOB NO.:	20140x06
		SCALE:	AS SHOWN
		DATE:	11/10/2025
		DRAWN BY:	DUKJHKZWB
		DESIGN BY:	DUKJHKZWB
		REVIEW BY:	JTS
		SHEET:	15 OF 15

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